



Account Managers Group

**Please choose a seat next to
someone you don't know.
Introduce yourself!**

mwsu.edu

Account Managers Group

Welcome

Dr. Marilyn Fowle'

MIDWESTERN
STATE UNIVERSITY

Account Managers Group

Way to go!!!



Update!

October 7th Shred Day
totaled over 10,000 lbs.

DWESTERN
STATE UNIVERSITY

Account Managers Group

Master Plan Update

Kyle Owen

MIDWESTERN
STATE UNIVERSITY



Midwestern State University

Campus Facilities Implementation Plan
Account Managers Meeting
October 30, 2014

Today's Agenda

1. Background
2. Projects Underway
3. Near-Term Implementation Plan
4. Long-Term University Growth
5. Parking Options
6. Questions?

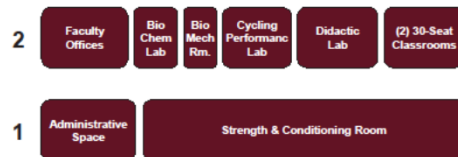
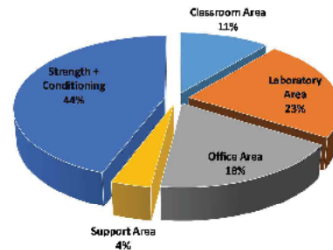
Background



2015 Tuition Revenue Bond Request

Health Sciences & Human Services Annex Building (\$12m)

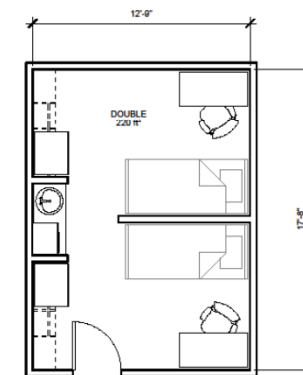
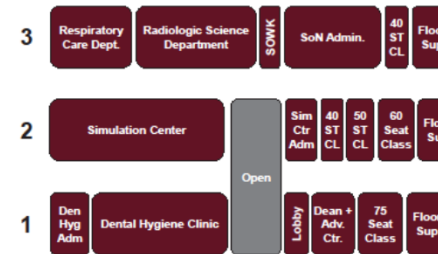
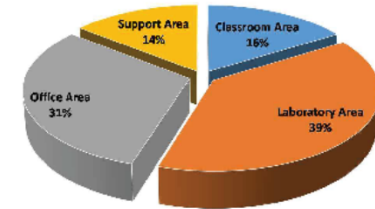
- 25,750 gross square feet
- Two stories
- Accommodates the Academic Training and Exercise Physiology Departments
- Provides the following spaces:
 - Didactic Lab
 - Bio-chem Lab
 - Bio-Mechanics Lab
 - Cycling Performance Lab
 - Strength & Conditioning Room
 - Classrooms
 - Support Space



2015 Tuition Revenue Bond Request

Health Sciences & Human Services Main Building (\$49m)

- 98,500 gross square feet
- Three stories
- Accommodates:
 - Dean's Suite
 - College Advising Center
 - Wilson School of Nursing
 - Dental Hygiene
 - Respiratory Care
 - Radiologic Science
 - Social Work
 - Simulation Center
 - Classrooms
 - Support Space

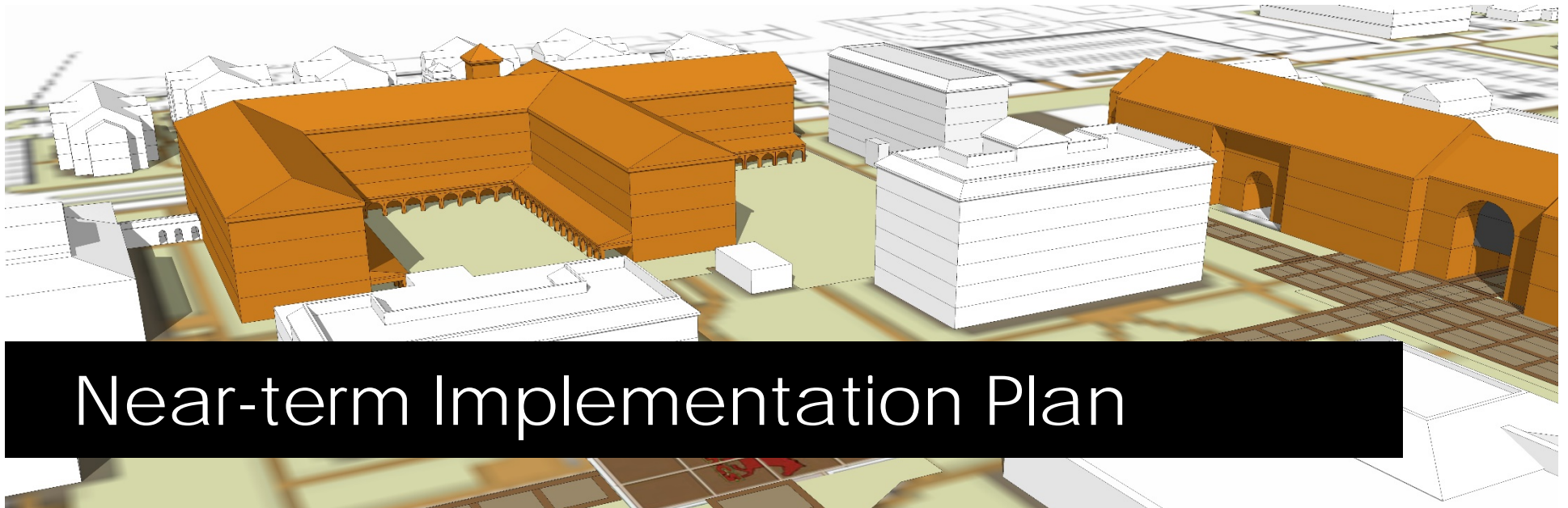


Projects Underway

- Football coaches offices in West Campus Annex – fall construction
- Sunwatcher Plaza/Mustangs Walk – open December, 2014
- Moffett Library master plan study complete
- Parking master plan study complete
- Student housing design initiated
- 2015 capital construction funding request for new College of Health Sciences & Human Services building

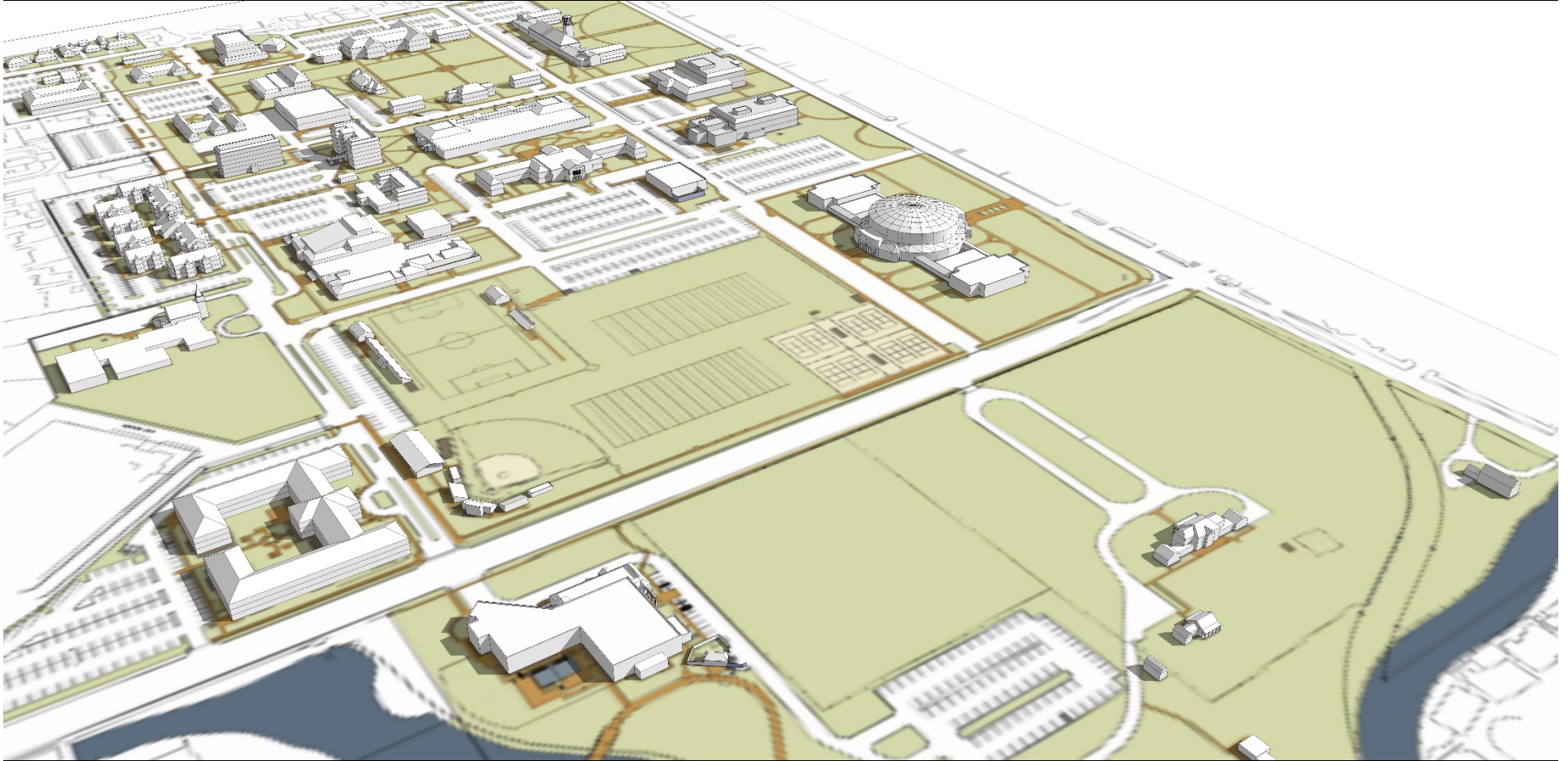
Student Housing Project Timeline

- 450-500 beds, traditional style dorm, \$26 MM to \$32 MM.
- Construction Documents Package #1 bid (site) – Feb 2015
- Construction Documents Package #2 bid (building) – March 2015
- Construction begins – May 2015
- Substantial Completion – July 2016

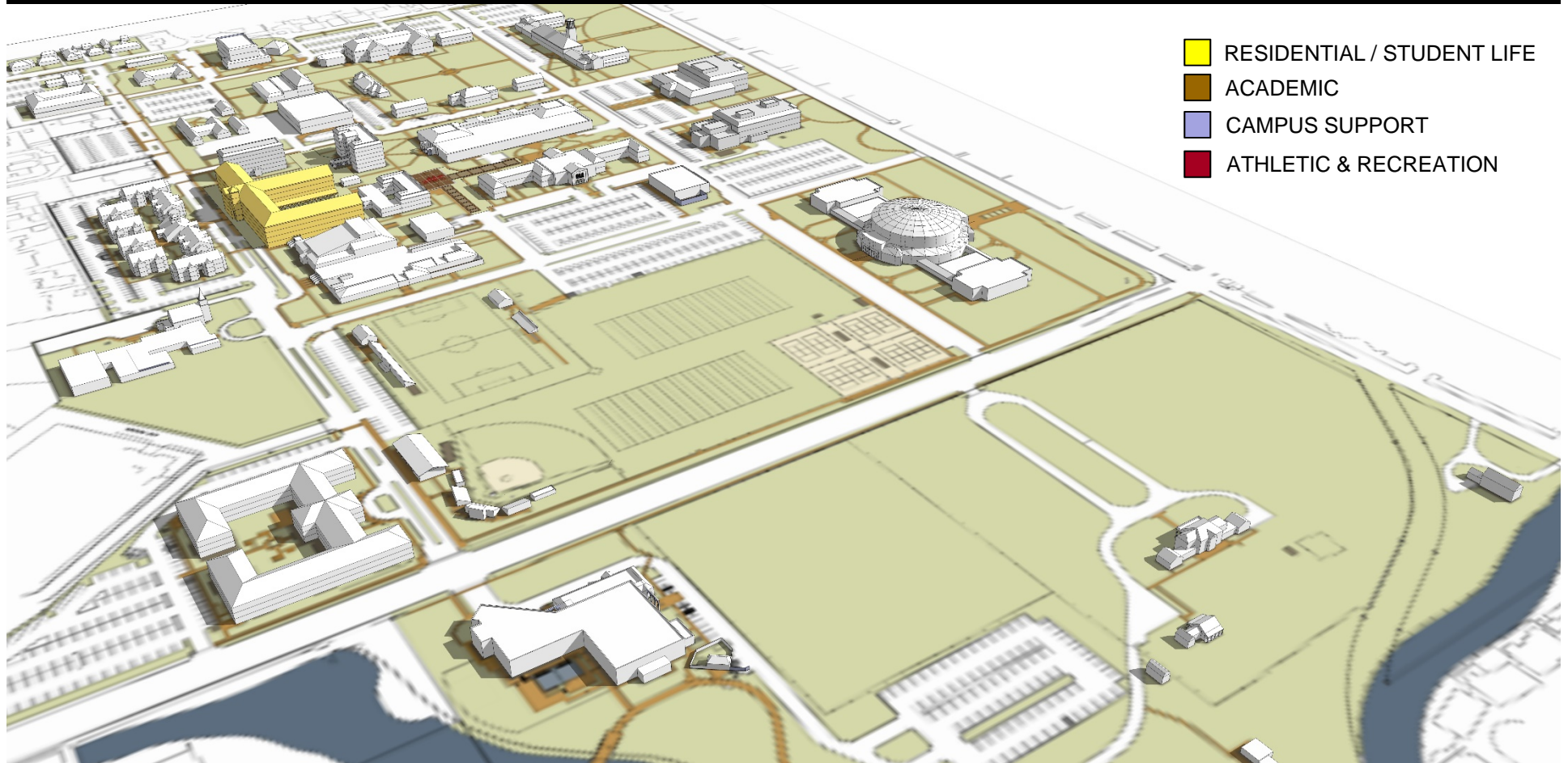


Near-term Implementation Plan

Existing Campus



Phase 1 - Residence Hall: 450-500 Beds



- Residence Hall to be located on Killingsworth parking lot
- Landscape plan to include connection to east/west “Sunwatcher Path” from Sunwatcher Village to Moffett Library & Bolin Hall.

Phase 2: Health Sciences & Human Services Building



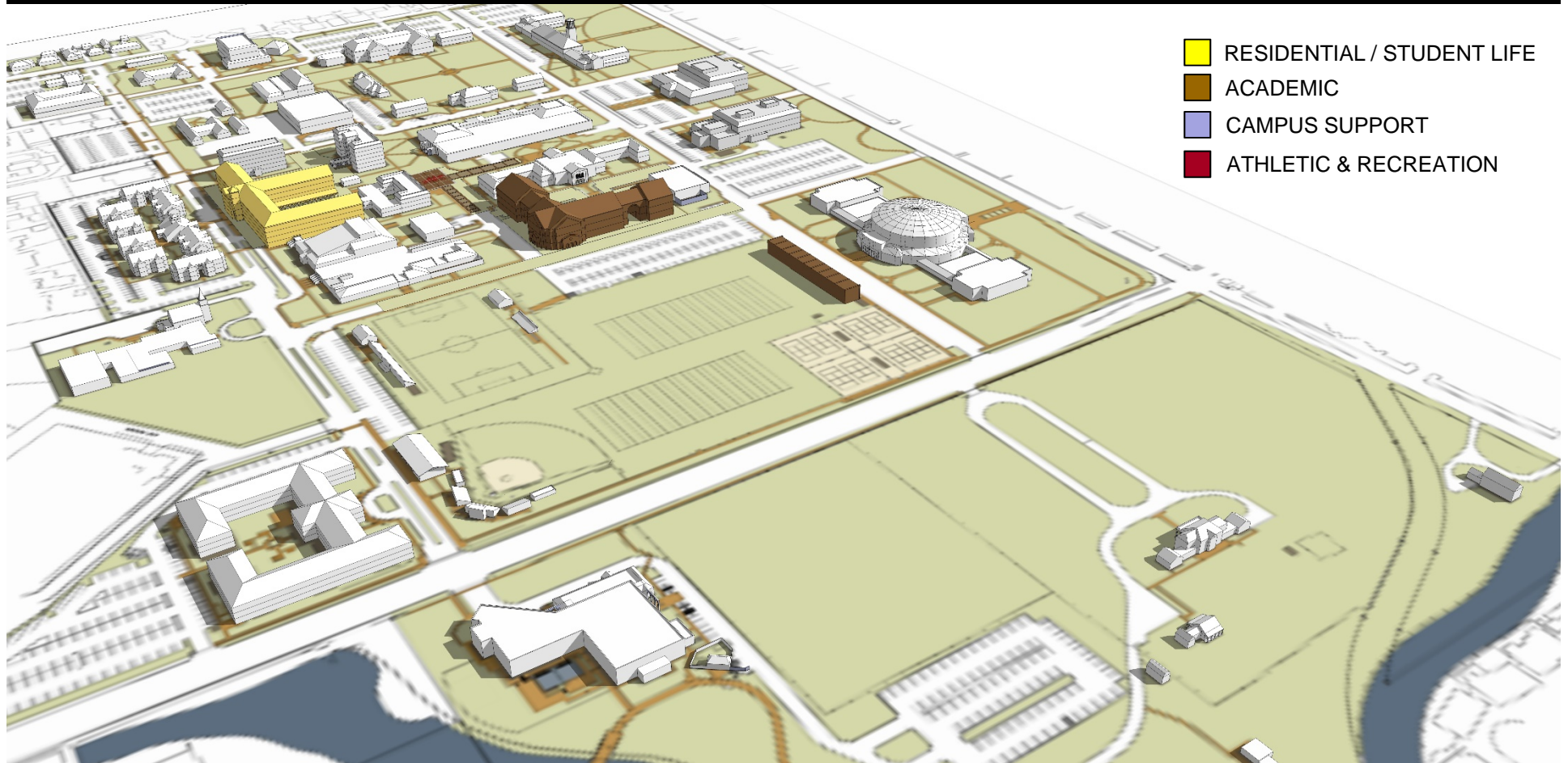
- HSHS to be located on Prothro-Yeager parking lot
- HSHS Annex located west of Ligon to house Athletic Training & Exercise Physiology



Long-term University Growth

Campus Facilities Implementation Plan
October 16, 2014

University Growth



- Academic needs
- 450 more beds in on-campus housing
- Expanded dining & student center

- Athletic & recreation turf fields
- Shift parking to perimeter of campus
- Expansion of Central Plant

Academic Growth



- Bolin – Science and Mathematics
- Expansion of Central Plant
- Fain Fine Arts – Mass Communication
- Education – Moves into Bridwell

Housing Goal: 30% of Student Population Living On Campus



- Phase 2 residence hall: West Campus Annex = 450 beds
- Additional student residents results in insufficient dining capacity

Facilities Services/Purchasing Building



- In order to use Daniel for a new dining hall and student center a new location must be found for Facilities Services and Purchasing

Facilities Services/Purchasing Building



- Facilities Services/Purchasing to be located on the current Fraternity Commons site
- Service yard & loading dock required west of building

Convert Daniel Building to Dining Hall/Student Center



- Existing Daniel becomes dining facility
- The addition becomes meeting spaces, ballrooms, bookstore, and student life space
- Closure of Comanche Trail (w/ Daniel)
- Possible closures of other streets



Parking Options

How much is required?

Where should it be located?

Parking Displaced and Added by Projects



Mustangs Walk.....	Lose 38 spaces
Bolin addition.....	Lose 42 spaces
HSHS Building – Lot #3 & #6.....	Lose 313 spaces
Ph. 1 & 2 Res. Hall – Lot #14.....	Lose 220 spaces
Add 0.8 of 900 students	Add 720 spaces

= 1,333 SPACES

Parking Required Based on Growth Projections



Total parking required = 1,333
+
Commuter and Faculty/Staff Growth = 527

= 1,860 SPACES

Long-Term Plan



Previous Question....

- How much parking is required?..... 1,860 spaces will be required
- Where should it be located?..... Surface or garage?



Option 1: Surface Parking

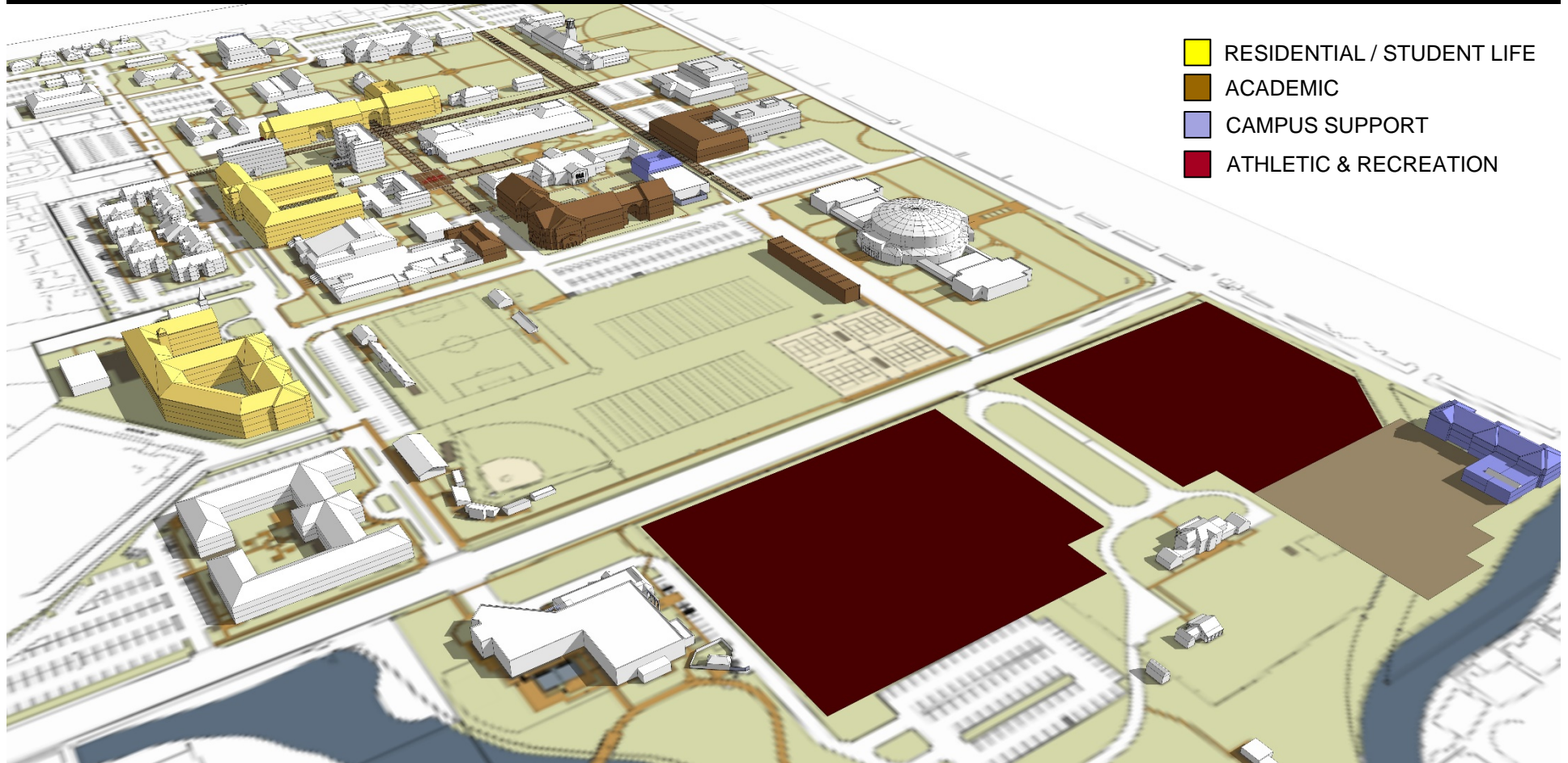
....How can we provide parking for the least amount of money?

....What is the long-term effect?

■ RESIDENTIAL / STUDENT LIFE
■ ACADEMIC
■ CAMPUS SUPPORT
■ ATHLETIC & RECREATION

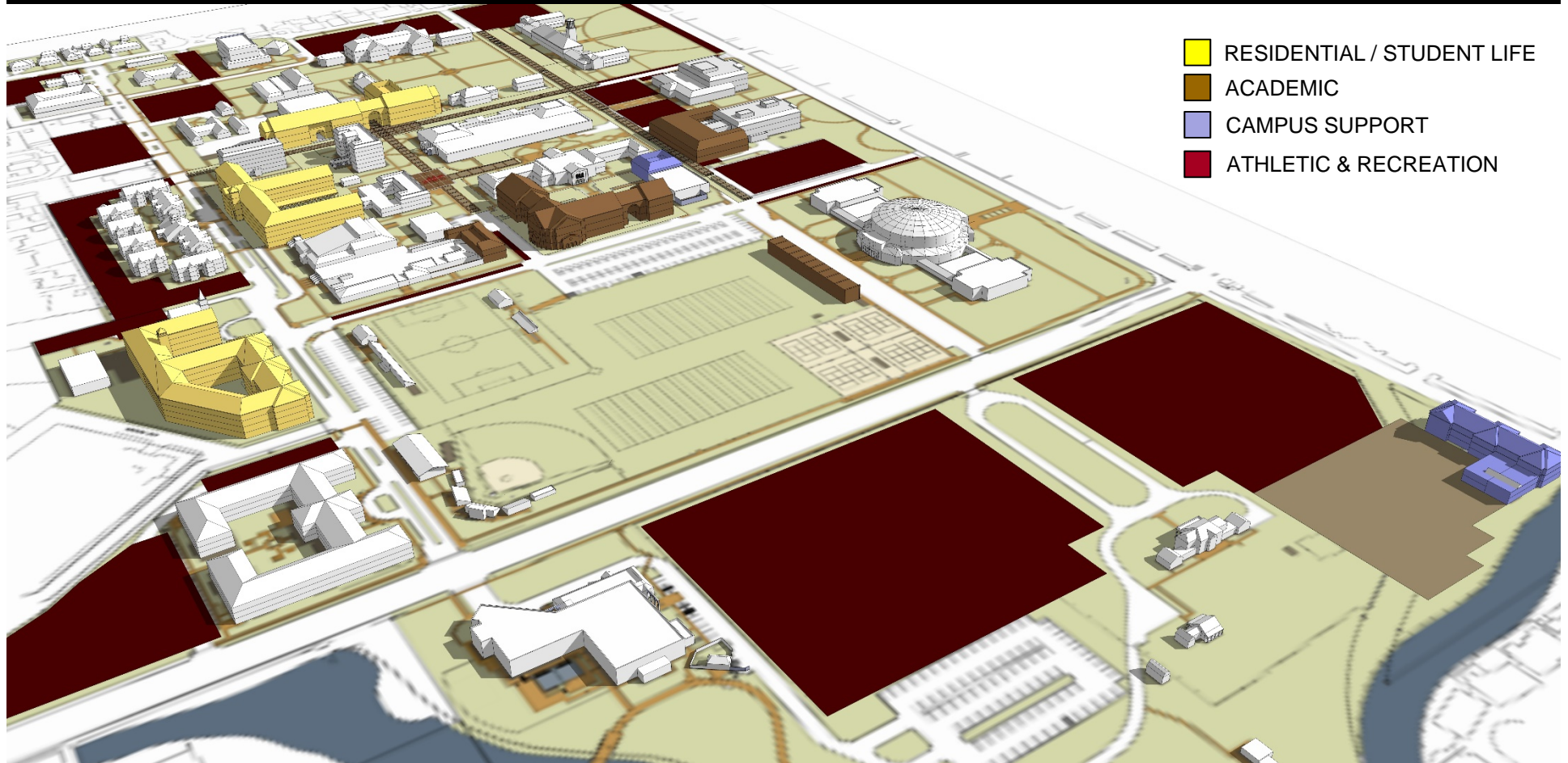
How much area will surface parking for 1,860 spaces occupy and where?

Option 1: Surface Parking



Will need to add 1,860 parking spaces
or
13 acres of surface parking

Option 1: Campus Parking Diagram

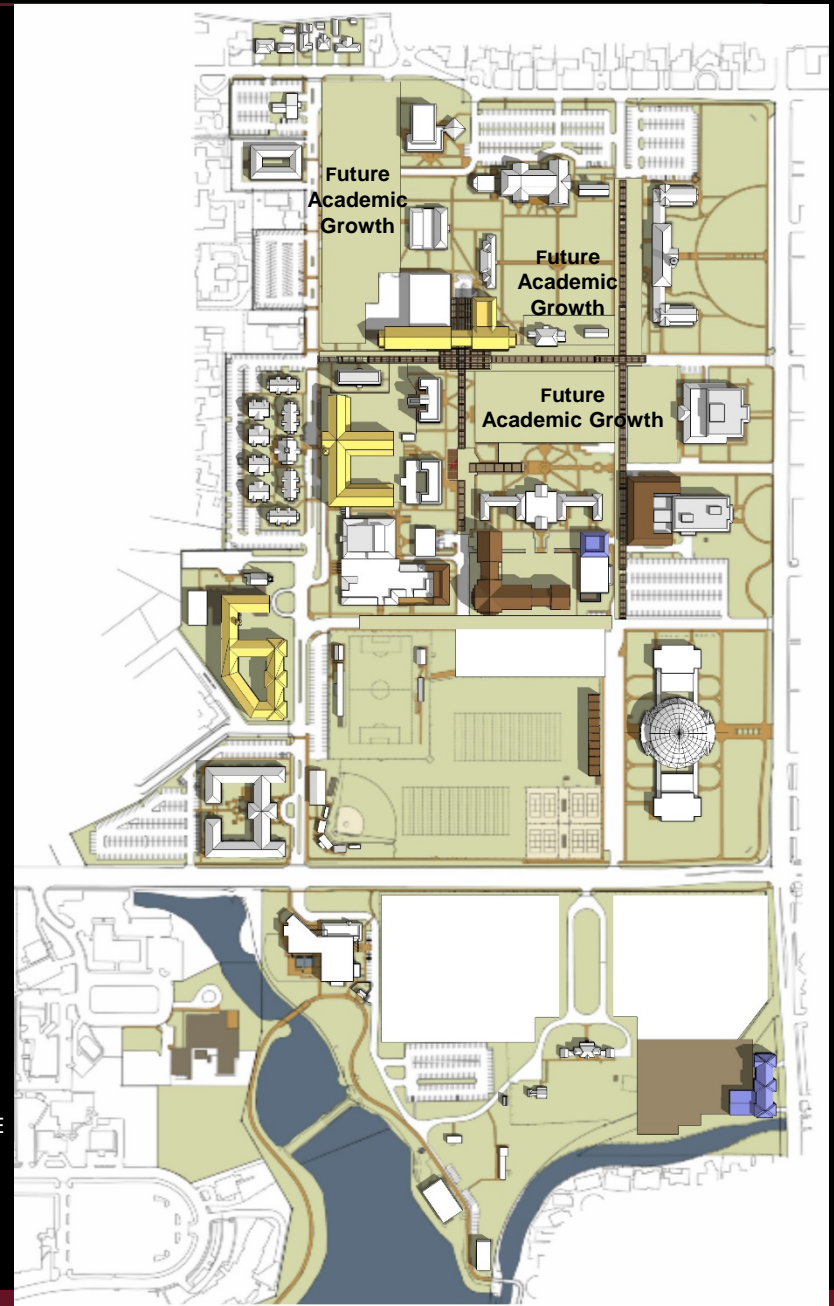


Total campus parking = 5,073 spaces
or
35 acres out of 177 acres (20%)

Option 1: Long-Range Plan

1. 900 beds housing (Phase 1 & 2)
2. Health Sciences & Human Services building
3. New student center in Daniel Building
4. Facilities Services/Purchasing building
5. Addition to Bolin
6. Addition to Fain Fine Arts
7. Central Plant expansion
8. Landscape projects:
 - Mustangs Walk – Nocona to Student Center
 - Closure of Comanche
 - Closure of Council
 - Closure of Nocona
 - Closure of some parking lots

- RESIDENTIAL / STUDENT LIFE
- ACADEMIC
- CAMPUS SUPPORT
- ATHLETIC & RECREATION





Option 2: Parking Garage

....How do we plan for the future and provide adequate parking for the future growth of the campus?

Move Soccer Stadium to South Campus



- Move soccer stadium to make room for future parking on existing stadium site
- Re-orient current soccer practice field

Future Need for Parking Garages

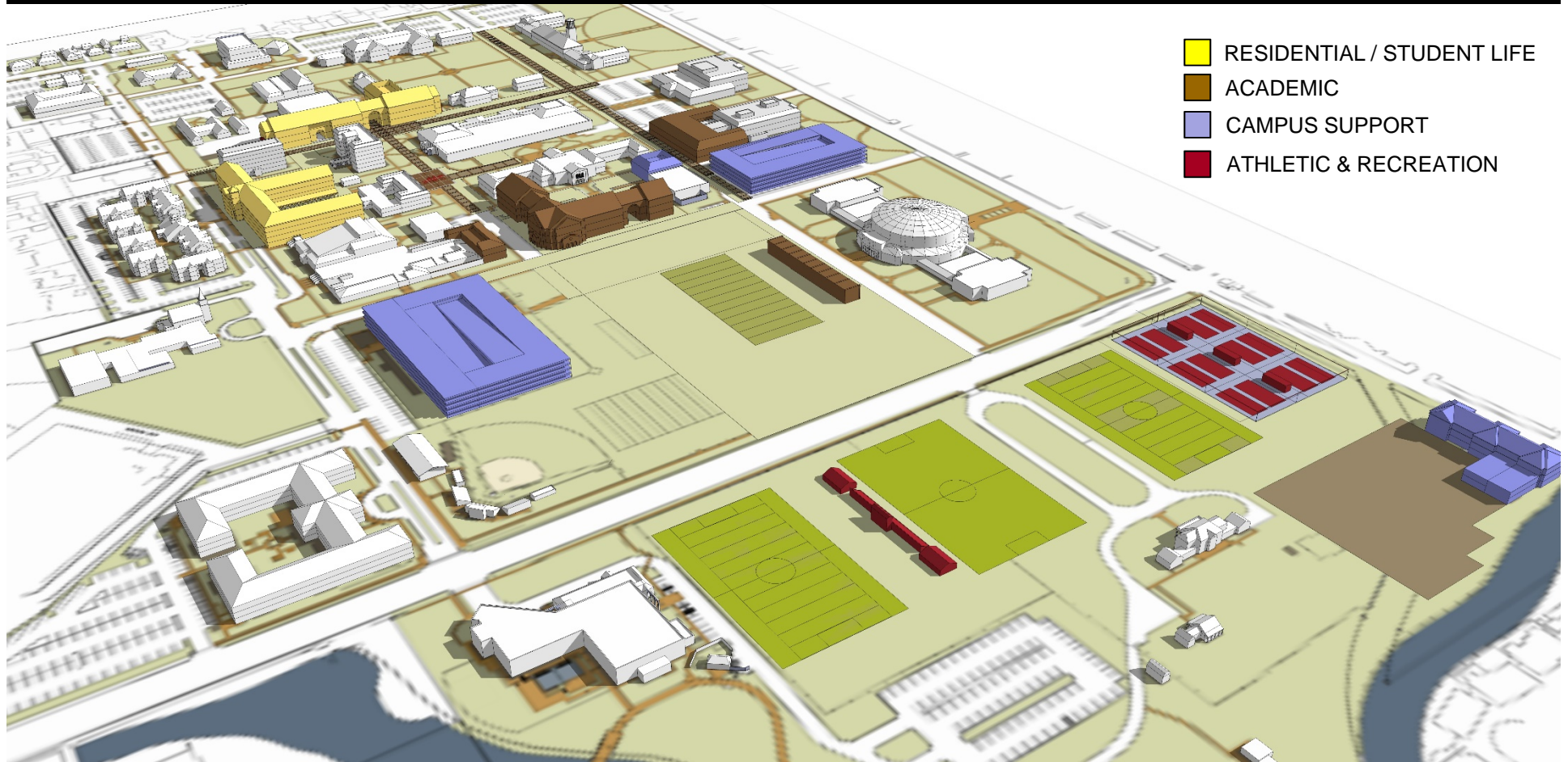


- #1 – needed w/900 beds & HSHS
- #2 – long-term: needed w/additional 900 beds & campus growth

- #1 - Soccer site garage = 1,600
 - #2 - Bolin lot garage = 950
- Total in garages = 2,550

Allows for 37% growth beyond projected 1,860

Move Tennis and Build Football Turf Field



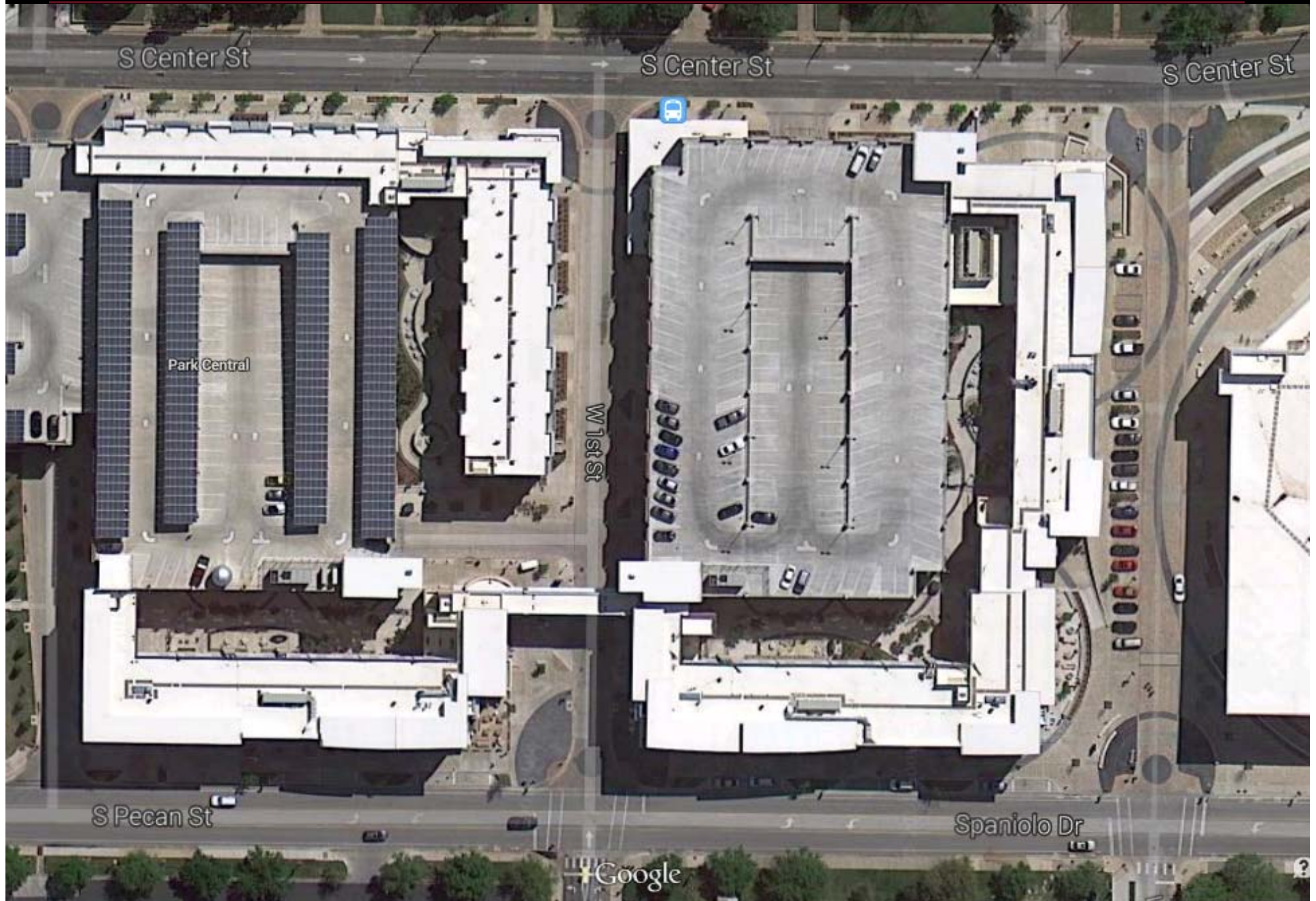
- Build 12-court tennis facility
- Additional turf field
- New turf football field
- Maintain old football practice field for student recreation, band practice & open play
- Provide free play area

Phase 2 – Residence Hall: 450 Beds



- Residence halls to be located on both sides of parking garage
- East building site will extend Mustangs Walk south of Nocona Street

UT ARLINGTON HOUSING / GARAGE PROJECT



UT ARLINGTON HOUSING / GARAGE PROJECT



UT ARLINGTON HOUSING / GARAGE PROJECT



Move Softball Stadium to South Campus



- Build softball stadium on South Campus
- Create Athletic and South Campus Recreation Complex

Phase 3 & 4 Housing



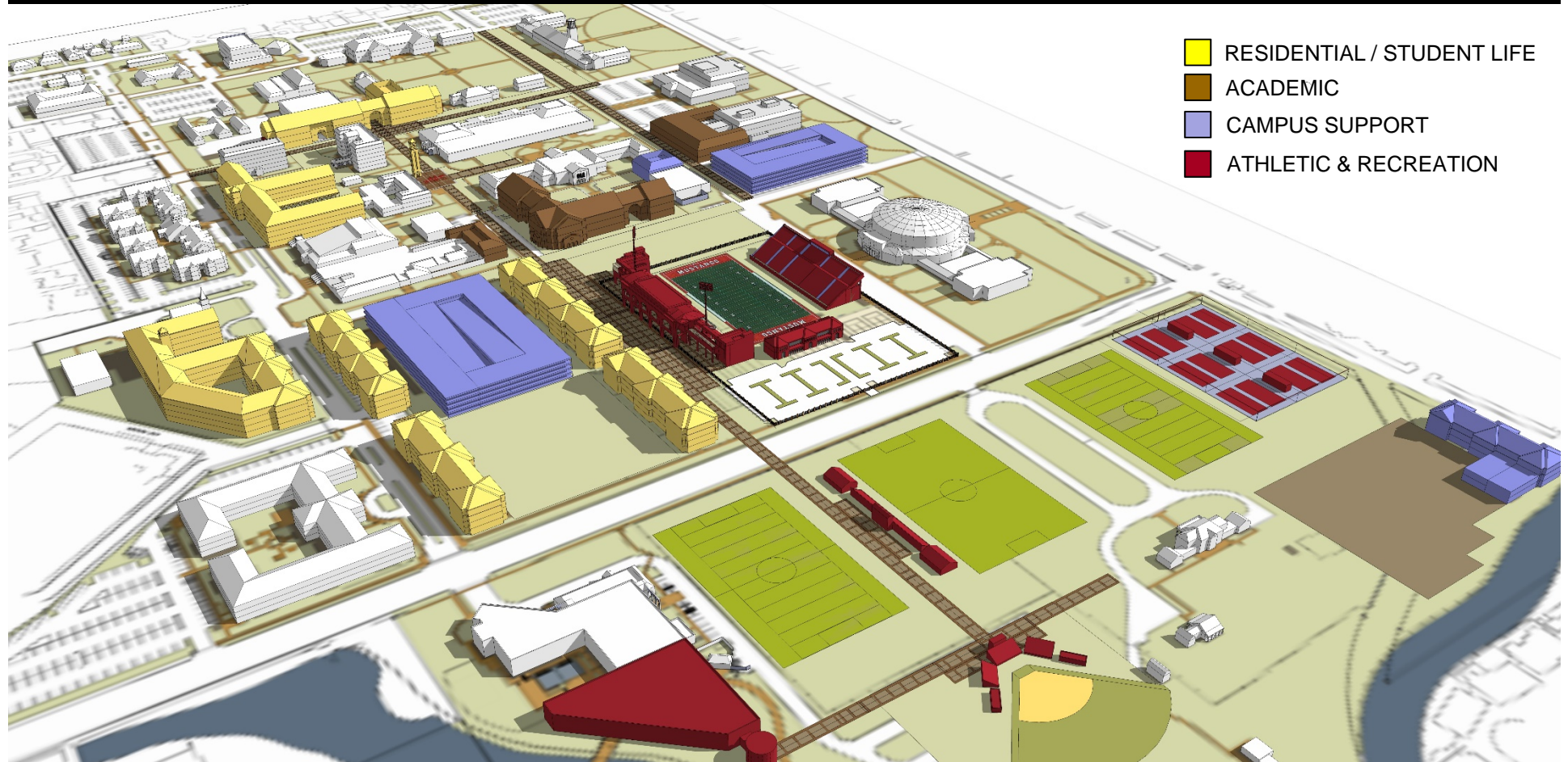
- Phase 3 = 360 Beds
- Phase 4 = 400 Beds
- Additional open space for informal recreation

Wellness Center Expansion



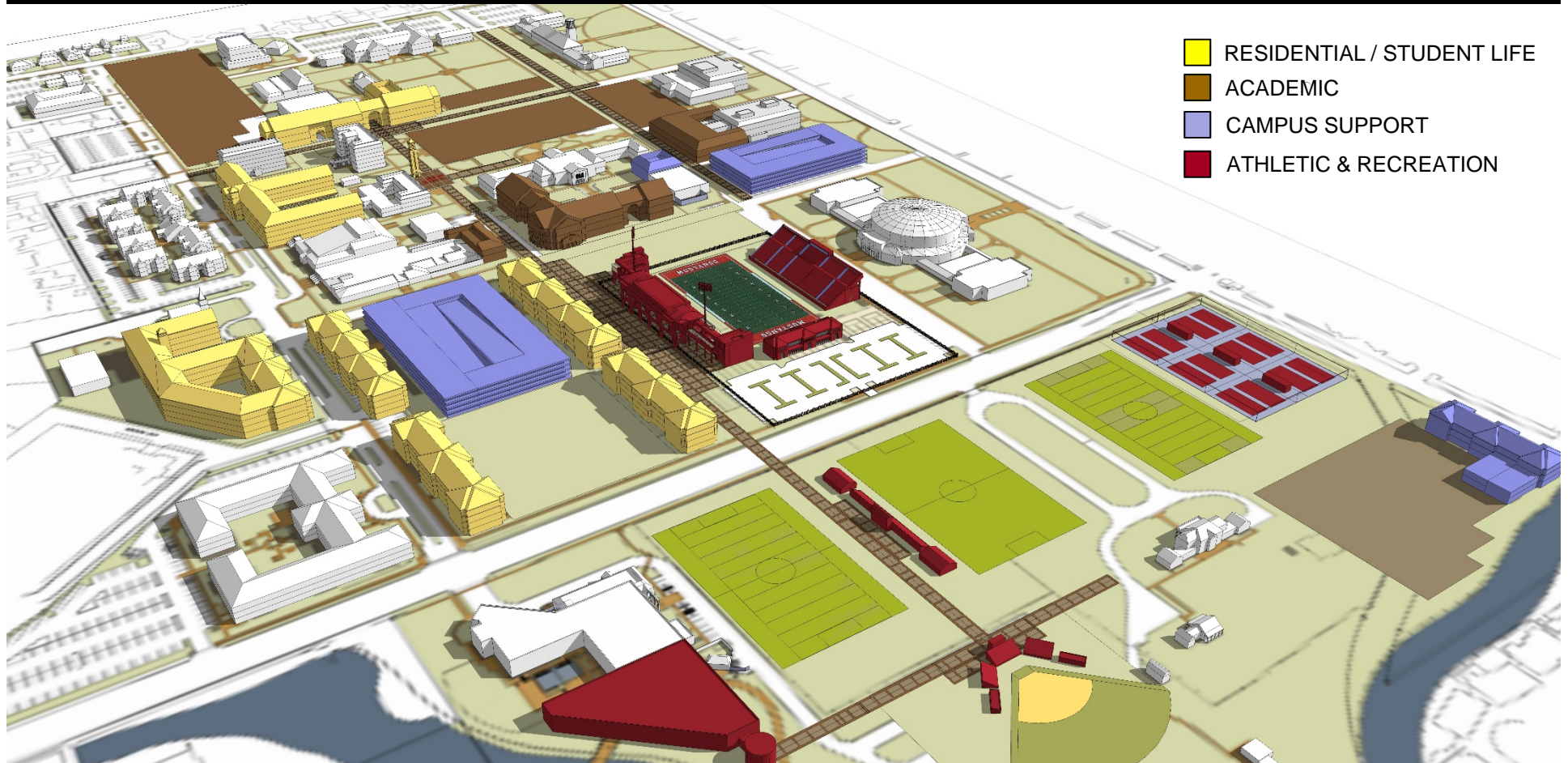
- Addition of more than 1,660 students living on campus
- Increased enrollment
- Increased faculty and staff
- Wellness Center will need to expand

Mustangs Football Stadium



- Creates eastern edge of Mustangs Walk

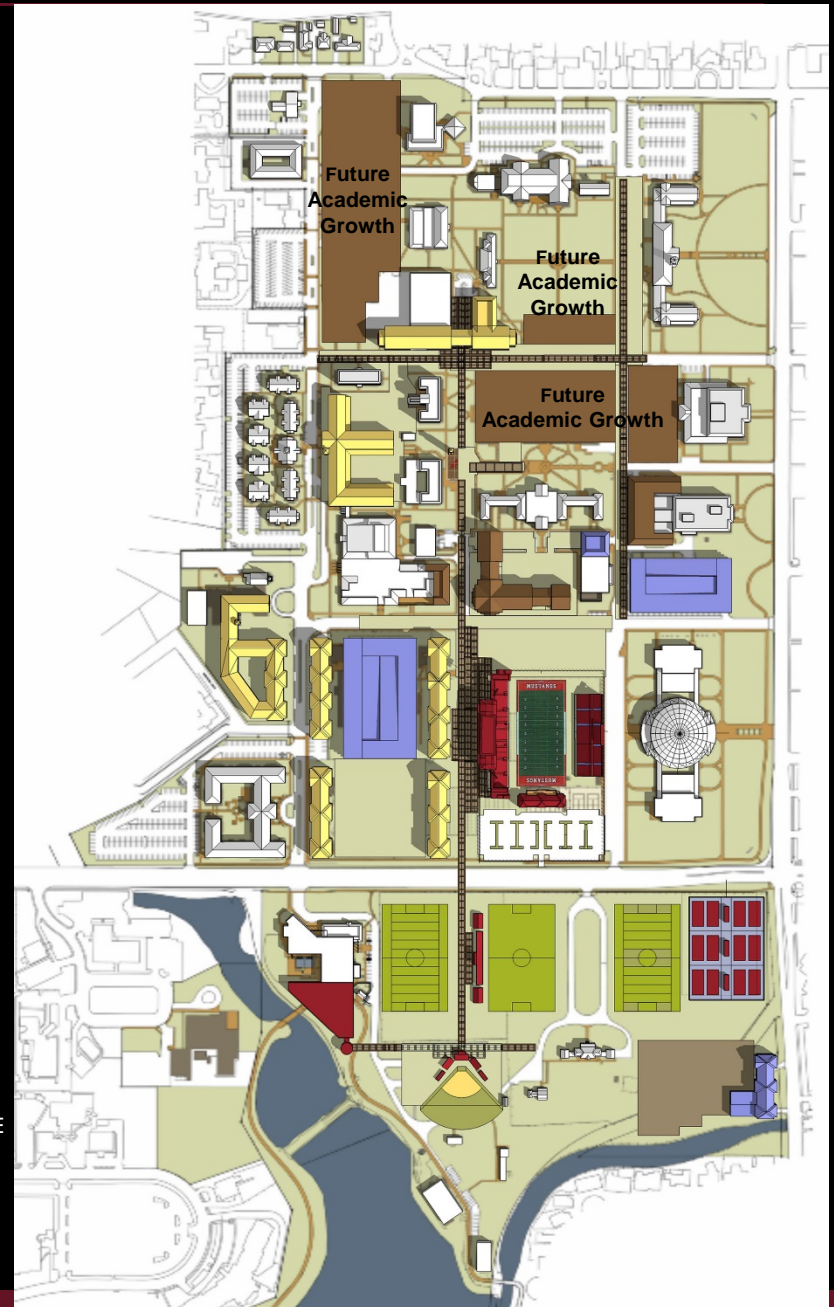
Future Academic Building Sites



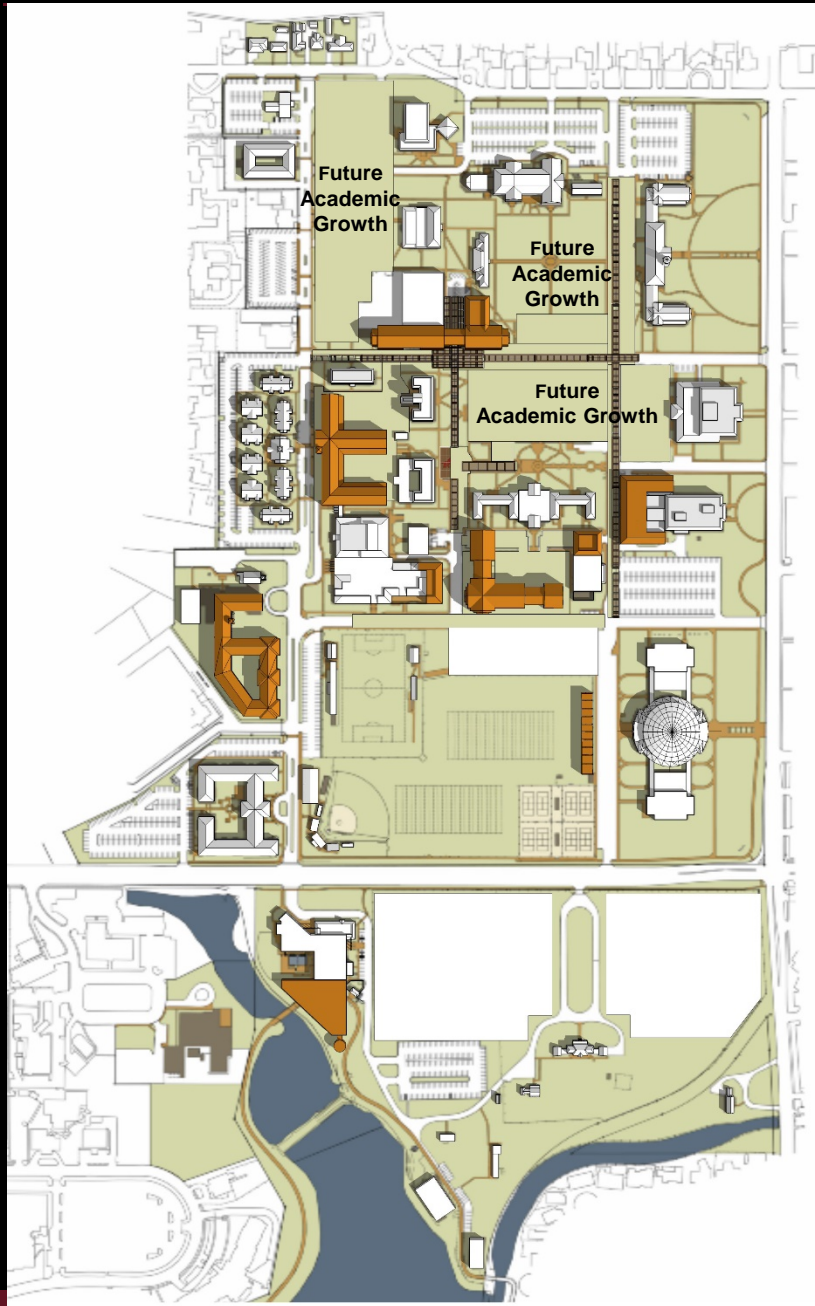
- Remove Clark Student Center
- Remove Ferguson, Memorial & Fain Hall
- Remove Counseling, McGaha, McCullough, Paint Shop & Marchman

Option 2: Long-Range Plan

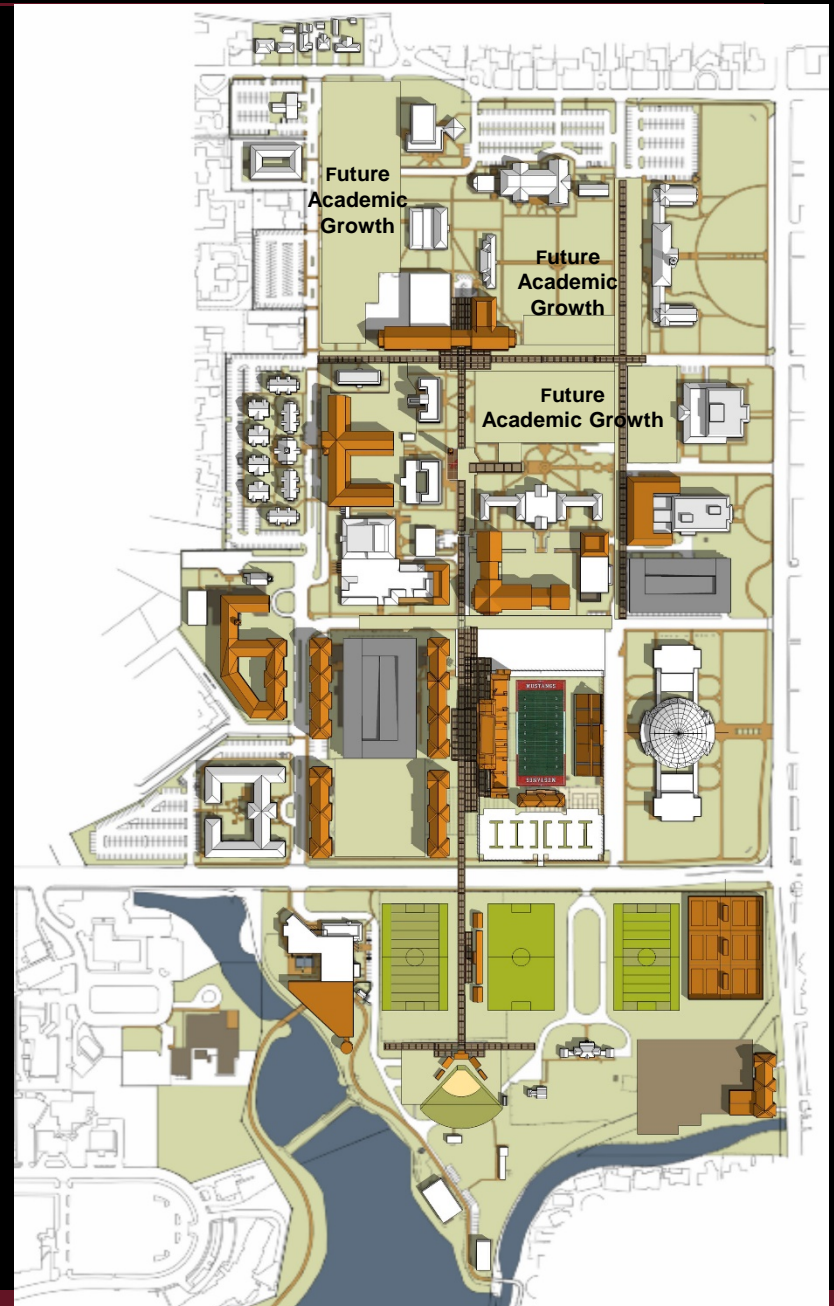
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 - Closure of Nocona
 - Closure of some parking lots
9. Parking garages (2)
10. New soccer stadium
11. New turf fields (2)
12. New tennis facility
13. New softball stadium
14. Addition to Wellness Center
15. Football stadium
16. 760 additional beds
17. Future expansion space for academic facilities



Option 1: Surface Parking



Option 2: Garage Parking



Questions?





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Internal Audit

Michael Taylor

MIDWESTERN
STATE UNIVERSITY



What is Internal Audit?

AUDITOR

[aw-di-ter]

noun. - Someone who arrives after the battle and bayonets the wounded.



The Internal Audit Process



How Can Internal Audit Help You?

- Identify potential time or resource savings
- Identifying duplication of effort
- Free consulting: (NOT AUDITS)
 - Risk / internal control assessment
 - Flash expense summary
 - Workshops (fraud, best practices, etc.)
 - Consultations

Value of Internal Audit?

- Help focus resources
- Help to establish best practices
- Identify potential issues before they become problems

Value of Internal Audit?

Types of Risk:

- Financial
- Strategic
- Reputational
- Technology
- Compliance
- Operational



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Remember This:

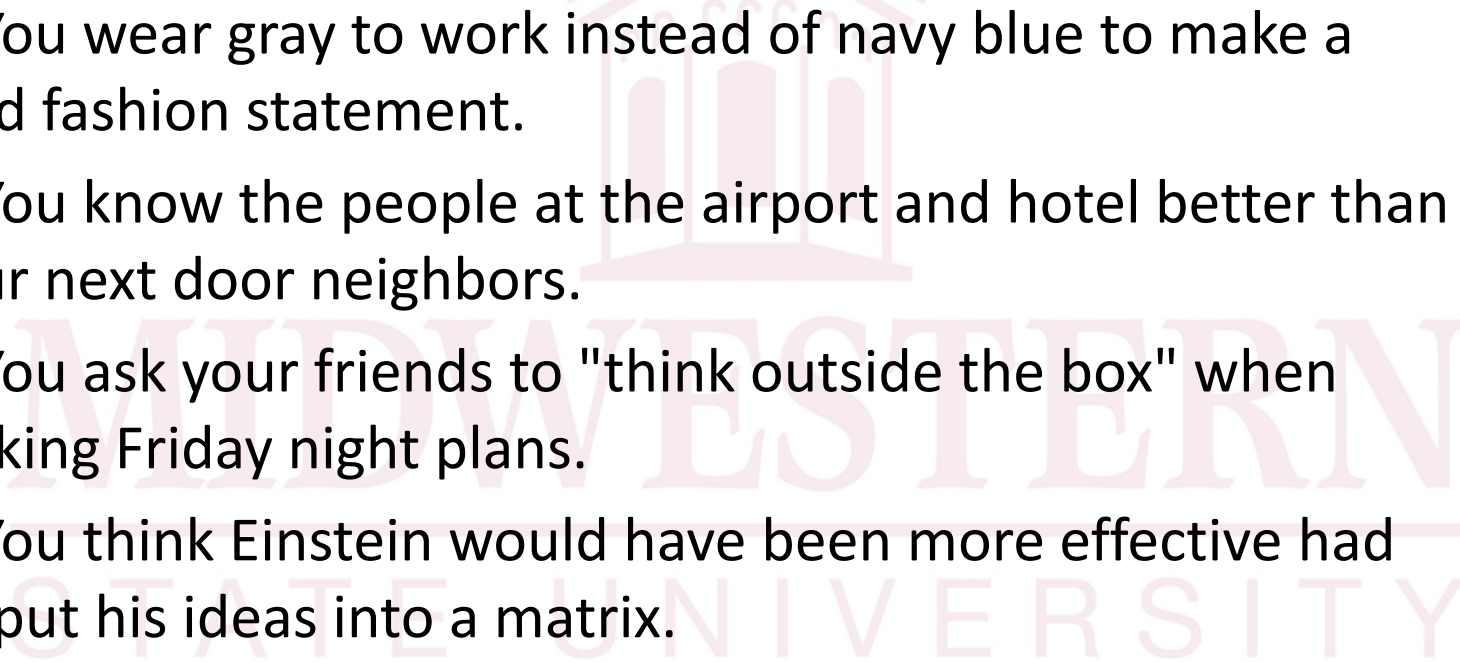
- We are on the same team.
- It is far better to find a potential issue before it costs the university.

Top 10 Signs You Work in Public Accounting/Consulting

10. You lecture the neighborhood kids selling lemonade on ways to improve their processes.
9. You get all excited - it's Saturday so you can wear casual clothes to work.
8. You refer to the tomatoes in your garden as deliverables.
7. You find you really need PowerPoint to explain what you do for living.
6. You normally eat out of vending machines and at the most expensive restaurant in town within the same week.



Top 10 Signs You Work in Public Accounting/Consulting

- 
5. You wear gray to work instead of navy blue to make a bold fashion statement.
 4. You know the people at the airport and hotel better than your next door neighbors.
 3. You ask your friends to "think outside the box" when making Friday night plans.
 2. You think Einstein would have been more effective had he put his ideas into a matrix.
 1. You think a "half-day" means leaving at 5 o'clock.



Be Audit You Can Be!

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International Students

Dawn Fisher

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Employing Foreign National Student Employees

<http://www.mwsu.edu/humanresources/hiring-foreign>

- All international students being considered for MSU employment must be processed through the Office of International Services prior to reporting to the Human Resources Department or commencing employment. International Services will verify the prospective employee's credentials (passport, visa, etc.) and complete a work authorization.
- All student employees must comply with the [student employment policy](#).
 - ❖ The employee's Social Security card must be presented to the Human Resources Department ASAP in order to process payment.
 - ❖ Per federal regulations, foreign national students may only be granted an exception to the twenty-hour workweek during the winter break, spring break, and summer semesters.

Tip of the Month



Mail Merge

Jesika Fisher

Account Managers Group

Open For
Questions and Answers



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Next meetings:



- ✓ November 20, 2014 – 10:00 AM
- ✓ No December Meeting

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Thank you!

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