



Office of Purchasing/Contract Management  
3410 Taft Boulevard Wichita Falls, Texas 76308-2099

March 31, 2017

TO WHOM IT MAY CONCERN

Reference: RFP #735-17-8178 Hampstead Parking Lot Construction

This letter serves as addendum one (1) to the above referenced RFP.

1. Sheet 3 includes a Fencing Detail for a single sided fence to be installed along the northern portion of the new parking lot. The existing double sided fence installed on the east side of 2525 Hampstead (see attached photos) will be removed by Owner and sections stacked for re-use as this northern fence material. The 2525 Hampstead fence is ~164' long with the northern portion (~40'?) too short for reuse. The fence is double sided so there should be sufficient length to reinstall along the northern ~204' length of the new parking lot. The contractor shall provide all other material including posts, concrete, and fasteners to re-use the 2525 fence sections. Contractor shall re-stain using the material listed in the Fencing Detail of sheet 3, adhering to the manufacturer's recommendations for surface preparation. Provide a deductive alternate to re-use the 2525 Hampstead fencing for the northern fencing on this project.
2. Fencing on the east and west sides of the new parking lot is shown on sheet 3 and is defined as "Temporary Fencing". See attached updated Sheet 3 for detail of the temporary fence (was not shown on the original version).
3. The original sheet 2 included a note about the future sidewalk on the south side of the new parking lot. Sheet 3 references the sidewalk as part of the project. The note on sheet 2 has been corrected (attached); the sidewalk on the south side of the new parking lot IS part of the Phase 1 scope of work.

If you have any questions please contact me.

Thank You.

  
Steve Shelley

Director of Purchasing & Contract Management

940-397-4110

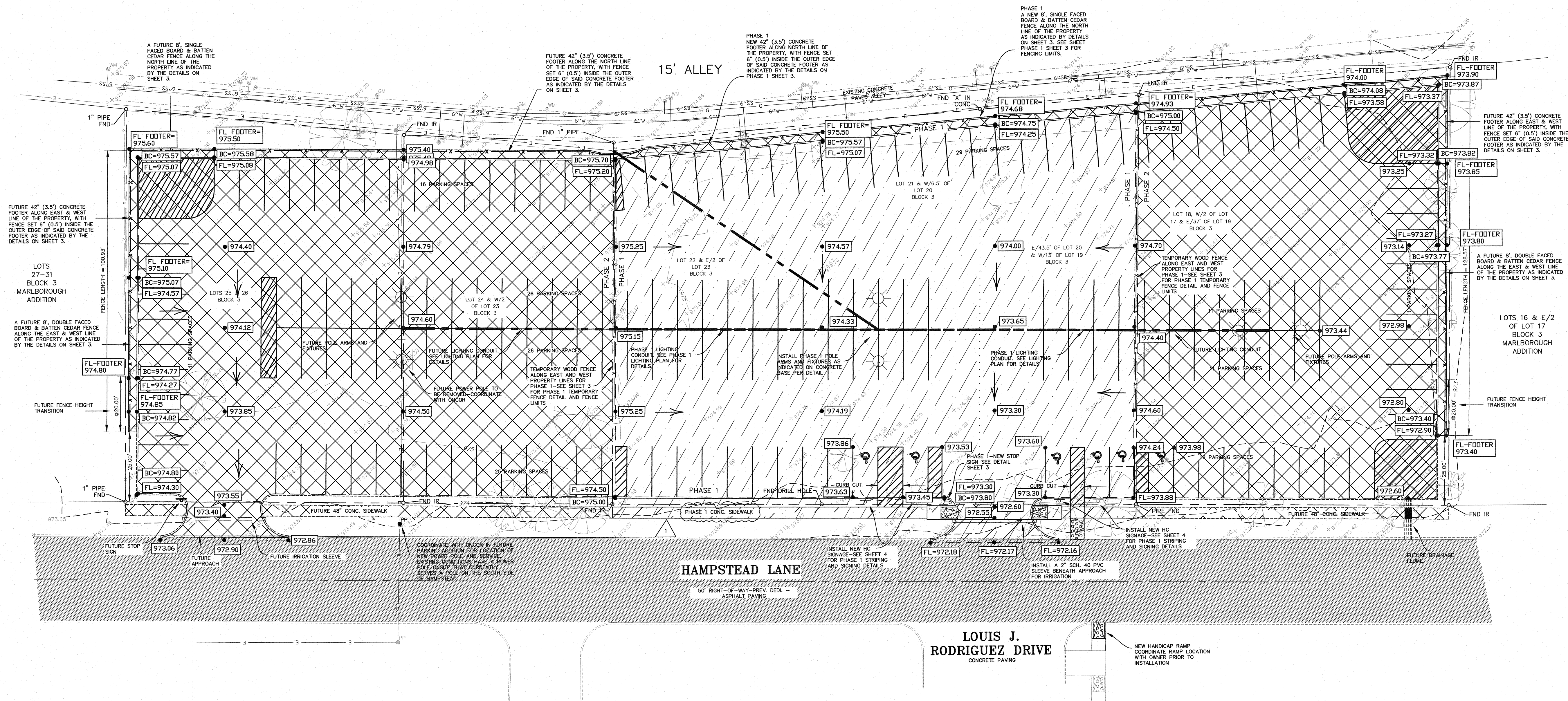
steveshelley@mwsu.edu

**mwsu.edu**

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C:\MARK\2017\31735\06 OVERALL.PLOT2 P-3/25/2017 9:11 AM S-3/25/2017 9:09 AM C:\M



#### NOTE:

THIS OVERALL CONCEPT PLAN HAS BEEN SHOWN FOR THE INTENT OF THE BUILD-OUT OF ALL SIX LOTS OWNED BY MWSU ON THE NORTH SIDE OF HAMPSTEAD LANE. MWSU INTENDS TO DEVELOP THE ENTIRE SIX LOTS AND CONSTRUCT A NEW PARKING LOT TO SERVE THE CAMPUS. THIS PROJECT WILL BE BUILT IN TWO SEPARATE PHASES. THESE PLANS ARE FOR THE CONSTRUCTION OF PHASE 1 ONLY (LOTS 22 THRU THE WEST 13' OF LOT 19, BLOCK 3, MARLBOROUGH ADDITION). THIS OVERALL CONCEPT PLAN IS FOR REFERENCE ONLY.

#### CAUTION!!! - UNDERGROUND UTILITIES!!!

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED APPROXIMATELY BY SIGHT OR FROM INFORMATION SUPPLIED BY THE VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER AND OWNER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION; TO TAKE NECESSARY PRECAUTIONS TO PROTECT ALL FACILITIES ENCOUNTERED; AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS WITH THE PROPOSED WORK. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXIST. UTILITIES AND FACILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER SOLE EXPENSE. FACILITIES OWNED BY THE ENTITIES LISTED BELOW ARE KNOWN TO BE LOCATED ON OR IN CLOSE PROXIMITY TO THE WORK AREA OF THIS PROJECT. ADDITIONAL FACILITIES OWNED BY OTHERS MAY ALSO BE AFFECTED. CONTACT ALL POSSIBLE UTILITY AND UNDERGROUND FACILITY OWNERS.

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TEXAS DEPARTMENT OF TRANSPORTATION (940) 720-7709  
ONCOR ELECTRIC DELIVERY (940) 766-5460  
UNDERGROUND FACILITIES LOCATOR SERVICE (800) 344-8377  
ATMOS ENERGY (940) 696-7602

#### HATCH LEGEND

- PHASE 1-AREA TO BE CONSTRUCTED AS PART OF THIS PROJECT
- PHASE 2-AREA TO BE CONSTRUCTED IN FUTURE AND SHOWN FOR REFERENCE ONLY ON THIS SHEET

3/31/2017 - PHASE 1 SIDEWALK LIMITS CLARIFIED

3/31/2017 - "FUTURE 48\" CONC. SIDEWALK" TEXT CHANGED TO "PHASE 1 CONC. SIDEWALK"

3/31/2017 - ADDED HANDICAP RAMP AT INTERSECTION OF HAMPSTEAD LANE AND LOUIS J. RODRIGUEZ DRIVE

#### PARKING TOTALS:

PHASE 1 = 59 TOTAL PARKING SPACES  
4 HANDICAP PARKING SPACES

PHASE 2 = 119 TOTAL PARKING SPACES  
2 HANDICAP PARKING SPACES

OVERALL TOTAL (PHASE 1 & PHASE 2) =

178 PARKING SPACES  
6 HANDICAP PARKING SPACES

#### LEGEND

- SIGN  
POWER POLE  
WATER METER  
GAS METER  
EXISTING ELECTRIC LINE  
EXISTING FENCE  
EXISTING 4\" GAS LINE  
EXISTING INDEX CONTOUR  
EXISTING INTERMEDIATE CONTOUR
- EXISTING 6\" SANITARY SEWER LINE  
EXISTING 6\" WATER LINE  
GUY WIRE  
EXISTING SPOT ELEVATION  
NEW SPOT ELEVATION  
HANDICAPPED PARKING SYMBOL  
EXISTING CONCRETE  
PROPERTY CORNER (AS NOTED)

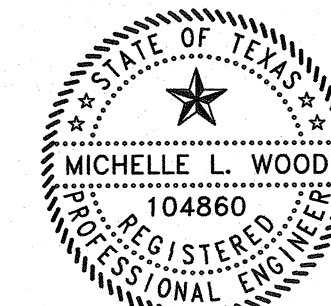
### OVERALL CONCEPT SITE PLAN MIDWESTERN STATE UNIVERSITY PARKING LOT ADDITION PROJECT HAMPSTEAD LANE

CORLETT, PROBST & BOYD, P.L.L.C.  
ENGINEERS - SURVEYORS  
4605 OLD JACKSBORO HIGHWAY  
WICHITA FALLS, TEXAS 76302  
PHONE (940)723-1455  
FAX (940)397-0549

SCALE: 1\" = 20'

MARCH, 2017

SHEET 2 OF 7



Michelle L. Wood  
REGISTERED PROFESSIONAL ENGINEER NO. 104860



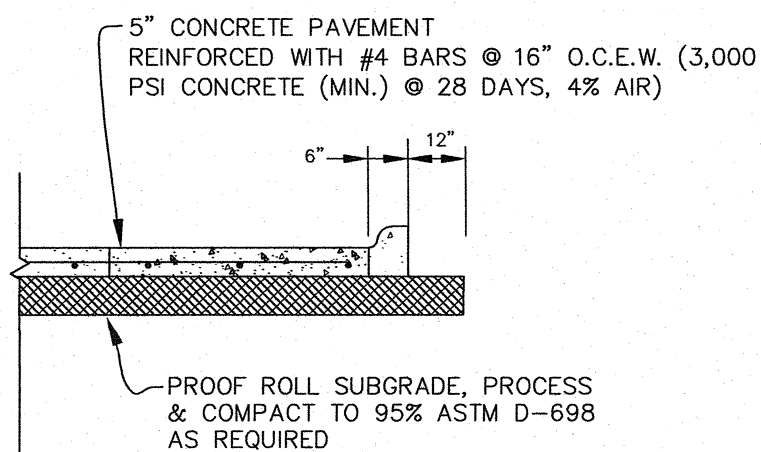
## GENERAL NOTES FOR PAVING

1. THIS PARKING LOT WILL BE CONSTRUCTED IN TWO SEPARATE PHASES. THIS PROJECT IS FOR THE CONSTRUCTION OF PHASE 1 ONLY. PHASE 2 WILL BE CONSTRUCTED IN THE FUTURE AS A SEPARATE PROJECT.
2. DEMOLITION ITEMS FOR PHASE 1 ARE BEING DEMOLISHED BY A SEPARATE CONTRACT. EXISTING BUILDINGS, PAVEMENT, TREES, SHRUBS AND APPURTENANCES ARE BEING DEMOLISHED UNDER THIS SEPARATE CONTRACT. ANY REMAINING VEGETATIVE AND DELETERIOUS MATTER SHALL BE STRIPPED AND HAULED OFF-SITE TO AN OFF-SITE LOCATION BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL PLACE TEMPORARY FENCING AND REASONABLE AND NECESSARY TRAFFIC CONTROL AND PROTECTIVE DEVICES AROUND THE CONSTRUCTION SITE. THE TRAFFIC CONTROL AND PROTECTIVE DEVICES SHALL DISCOURAGE VEHICULAR AND PEDESTRIAN TRAFFIC FROM ENTERING OR CROSSING THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE TEMPORARY FENCE AND TRAFFIC CONTROL DEVICES USED AS WELL AS REMOVING THEM FROM SITE ONCE THEY ARE NO LONGER NEEDED.
4. THE CONTRACTOR SHALL TAKE PRECAUTIONS AS TO NOT TRACK DEBRIS, DIRT AND MUD FROM THE SITE ONTO THE ADJACENT STREETS, ALLEY AND AREAS NOT WITHIN THE CONSTRUCTION SITE. ALL ADJACENT STREETS, ALLEYS AND AREAS SHALL BE SWEEP AND/OR CLEANED AS NEEDED OR AS DIRECTED BY THE OWNER.
5. A CITY OF WICHITA FALLS APPROACH PERMIT IS REQUIRED FOR THE APPROACH AND THE SIDEWALK ALONG THE NORTH SIDE OF HAMPSTEAD LANE. THE APPROACH AND SIDEWALK SHALL BE INSTALLED PER CITY OF WICHITA FALLS STANDARDS AND WILL BE SUBJECT TO CITY INSPECTION AND APPROVAL. ALL WORK WITHIN CITY RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION-NORTH CENTRAL TEXAS, LATEST EDITION, AS PUBLISHED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS. THE CITY PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED AT LEAST TWO (2) BUSINESS DAYS PRIOR TO WORK WITHIN THE CITY RIGHT-OF-WAY. ANY TRAFFIC SAFETY MEASURES USED WITHIN THE STREET RIGHT-OF-WAY TO PROTECT THE PUBLIC SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL FROM THE SITE. THE CONTRACTOR SHALL REMOVE, LOAD, HAUL AND DISPOSE OF EXCESS MATERIAL AT AN OFF-SITE LOCATION. ONCE THE SITE HAS BEEN SUFFICIENTLY GRADED TO THE REQUIRED SUBGRADE DEPTH, THE SITE SHALL BE PROOF ROLLED WITH A LOADED DUMP TRUCK OR SIMILAR EQUIPMENT. ANY SOFT AREAS SHALL BE REMOVED, REWORKED AND RECOMPACTED TO ACHIEVE A MINIMUM OF 95% STANDARD PROCTOR DENSITY (ASTM D-698) AT 1%-3% ABOVE OPTIMUM MOISTURE.
7. ALL CONCRETE STRENGTH SHALL BE A MINIMUM OF 3000 PSI AT 28 DAYS AND SHALL CONTAIN A MINIMUM OF 4% ENTRAINED AIR. THE CONTRACTOR SHALL TAKE CARE SO THAT THE MAXIMUM SLUMP DURING A POUR DOES NOT EXCEED 5-INCHES. ANY EXCESSIVELY WET CONCRETE LOADS WILL BE REJECTED. THE CONTRACTOR SHALL OBTAIN TWO SETS OF FOUR CYLINDERS FROM SEPARATE READY MIX TRUCKS FOR EACH MAJOR POUR. THESE CYLINDERS SHALL BE KEPT AT FIELD CONDITIONS AND SHALL BE BROKEN BY AN INDEPENDENT TESTING LAB AT 7, 14 AND 28 DAYS AT THE OWNER'S EXPENSE. THE RESULTS SHALL BE PROVIDED TO BOTH THE ENGINEER AND MWSU. TESTS MAY CEASE ON ANY SET OF CYLINDERS WHEN DESIGN STRENGTH HAS BEEN ACHIEVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ANY CONCRETE NOT MEETING THE REQUIRED MINIMUM DESIGNED STRENGTH AT NO EXPENSE TO THE OWNER.
8. CONCRETE SHALL BE PROTECTED FROM FREEZING FOR A MINIMUM OF 36 HOURS FOLLOWING ITS INITIAL SET AND SHALL NOT BE PLACED UNLESS THE TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT. ANY TRAFFIC SHALL BE KEPT OFF OF THE PAVEMENT FOR A MINIMUM OF 7 DAYS OR UNTIL APPROVED FOR TRAFFIC BY MWSU.
9. ANY CONCRETE TRUCKS SHALL NOT BE WASHED OUT ON MWSU PROPERTY.
10. REINFORCING SHALL BE GRADE 60 AND INSTALLED IN ACCORDANCE WITH ACI 330 LATEST EDITING AND SHALL BE FREE OF EXCESSIVE RUST, SCALE AND MUD. REINFORCING MATS SHALL BE SUPPORTED ON PLASTIC CHAIRS, NOT ON RODS DRIVING INTO THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CARE DURING CONCRETE PLACEMENT TO INSURE THAT ANY REINFORCING MAINTAINS ITS PROPER POSITION IN THE PAVEMENT. CONCRETE TRUCKS SHALL NOT BE DRIVEN ACROSS REINFORCING MATS.
11. PAVEMENT SURFACES SHALL HAVE A LIGHT BROOM FINISH.
12. CONTRACTION JOINTS IN THE SIDEWALK SHALL BE TOOLED IN AS INDICATED ON THE DETAILS. CONTRACTION JOINTS IN THE PARKING LOT PAVING SHALL BE SAW CUT TO A DEPTH OF 3/4" WITHIN 24-HOURS AFTER THE CONCRETE HAS OBTAINED ITS INITIAL SET AT 15' ON CENTER EACH WAY. AFTER THE CONCRETE HAS SET FOR A MINIMUM OF 14 DAYS, ALL JOINTS SHALL BE BLOWN CLEAN WITH COMPRESSED AIR AND SHALL BE SEALED WITH A 1/2" INCH BEAD OF SONOLASTIC SL1, OR OTHER APPROVED SEALANT, TO WITHIN 1/4" INCH OF THE FINISHED PAVEMENT SURFACE.
13. EXPANSION JOINTS SHALL BE INSTALLED PER DETAILS AGAINST ANY EXISTING CONCRETE AND SHALL BE PLACED AT A MINIMUM OF 90' AND MAXIMUM OF 120' INTERVALS IN THE PARKING AREAS. EXPANSION JOINT MATERIAL SHALL BE SCORED OR SHALL HAVE A REMOVABLE PLASTIC CAP SO THAT THE UPPER 1/2" INCH CAN BE REMOVED TO ALLOW A SEALANT POCKET. EXPANSION JOINTS SHALL BE SEALED IN THE SAME MANNER AS MENTIONED ABOVE FOR CONTRACTION JOINTS. EXPANSION JOINTS SHALL BE LINED UP IN PARKING LOTS, CURB AND GUTTER AND SIDEWALK.
14. CONSTRUCTION JOINTS SHALL BE DOWELED TOGETHER PER THE DETAILS. THE DOWELS MAY BE ELIMINATED IF THE STEEL IS LAID CONTINUOUSLY ACROSS THE JOINT.
15. AFTER REMOVAL OF THE FORMS FOR CURBING, ALL VOIDS SHALL BE RUBBER FLOATED FULL WITH RICH CEMENT GROUT CONTAINING BONDING AGENT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGHLY PICKING UP AND RAKING THE SITE AND ALL DEBRIS REMOVED.
17. THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR SAFETY ON THIS PROJECT. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY AND PRUDENT BARRICADES, SIGNS, FENCING, WARNING LIGHTS, TRENCH SAFETY MEASURES AND DEVICES, WORK METHODS AND ALL OTHER SAFETY MEASURES NECESSARY TO PROTECT THE MWSU STUDENTS, FACULTY, STAFF, GENERAL PUBLIC AND CONTRACTOR EMPLOYEES. TRAFFIC SAFETY MEASURES SHALL BE USED WITHIN THE STREET RIGHT-OF-WAY TO PROTECT THE TRAVELING PUBLIC AND SHALL CONFORM TO THE REQUIREMENTS MEETING THE "MANUAL ON UNIFORM TRAFFIC CONTROL".

## STRIPING NOTES

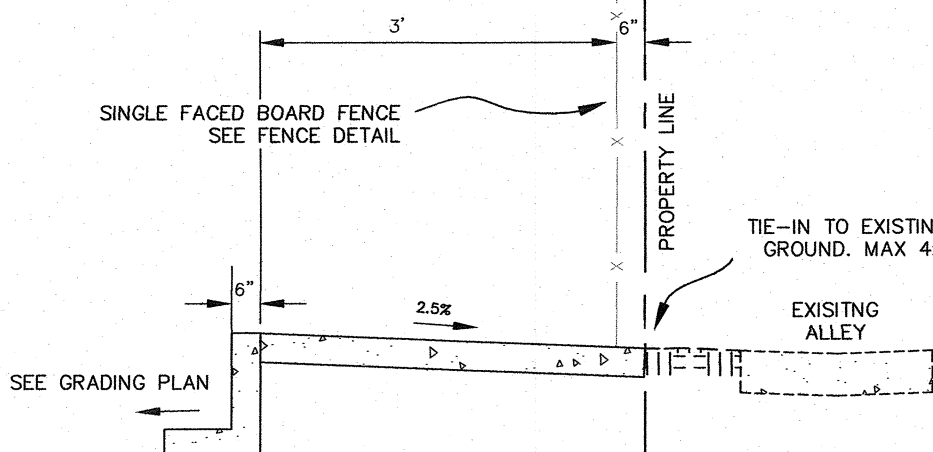
1. THE CONTRACTOR SHALL PROVIDE PARKING LOT STRIPING FOR PHASE 1 ONLY AND SHALL REFER TO THE PHASE 1 STRIPING AS SHOWN IN PLAN VIEW.
2. THE CONCRETE SURFACE SHALL TO BE STRIPED SHALL BE BROOMED CLEAN AND/OR POWER WASHED TO REMOVE DEBRIS, DIRT AND MUD PRIOR TO PAINTING.
3. THE SURFACES TO BE PAINTED SHALL BE THOROUGHLY DRY AND THE JOINT SEALANT SHALL BE FULLY CURED AND PAINTABLE. PPG OR SHERWIN-WILLIAMS TRAFFIC MARKING PAINT SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
4. PARKING SPACE STRIPING SHALL BE 4 INCHES WIDE AND SHALL BE TRAFFIC SAFETY YELLOW. HANDICAP SPACES, INCLUDING STRIPING, CURB FACE AND SYMBOLS, SHALL BE SAFETY BLUE.
5. THE CONCRETE BASE SHOWN IN LOT LIGHTING DETAILS IN PHASE 1 LIGHTING PLAN SHALL BE PAINTED TRAFFIC SAFETY YELLOW.
6. ALL PAINTED AREAS SHALL BE PROTECTED FROM TRAFFIC UNTIL THOROUGHLY DRY AND ACCEPTED BY MWSU.

## CONCRETE PAVING SECTION



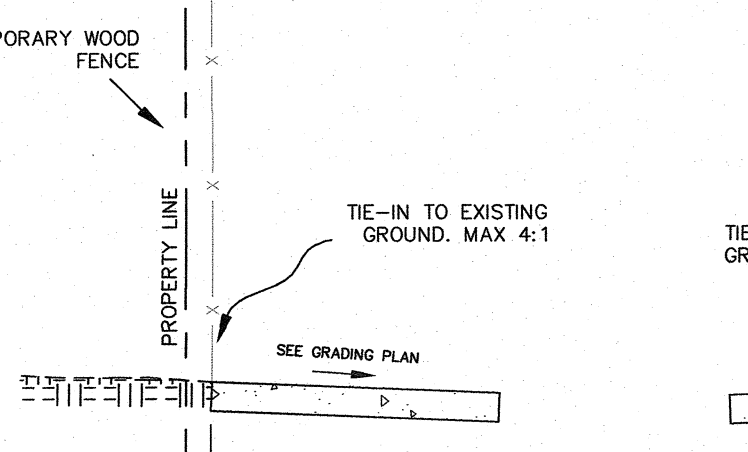
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## NORTH FENCE DETAIL SECTION A-A



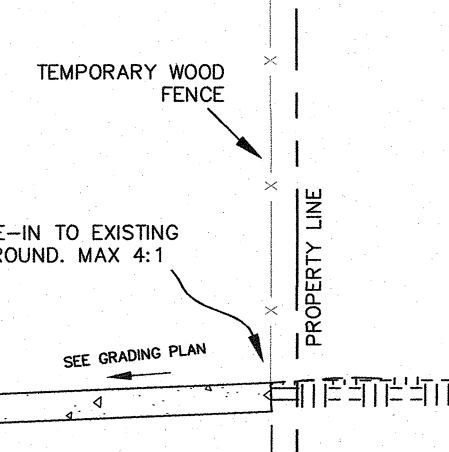
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## WEST FENCE DETAIL SECTION B-B



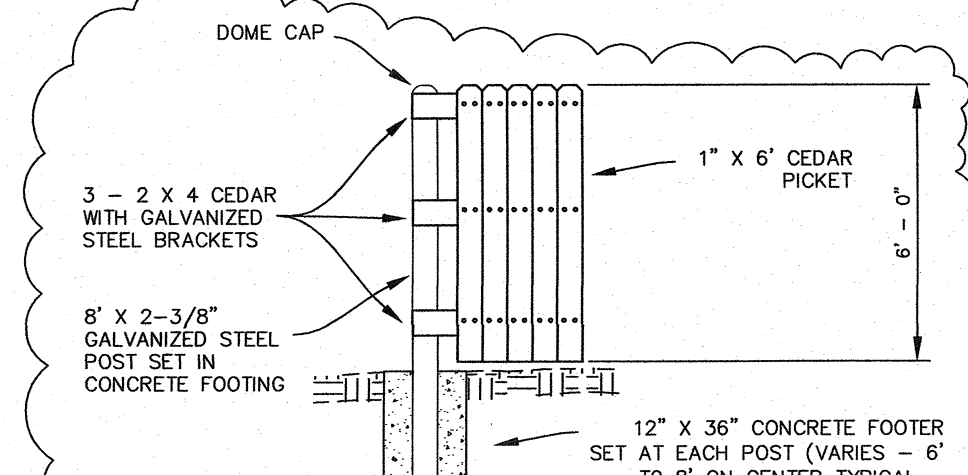
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## EAST FENCE DETAIL SECTION C-C



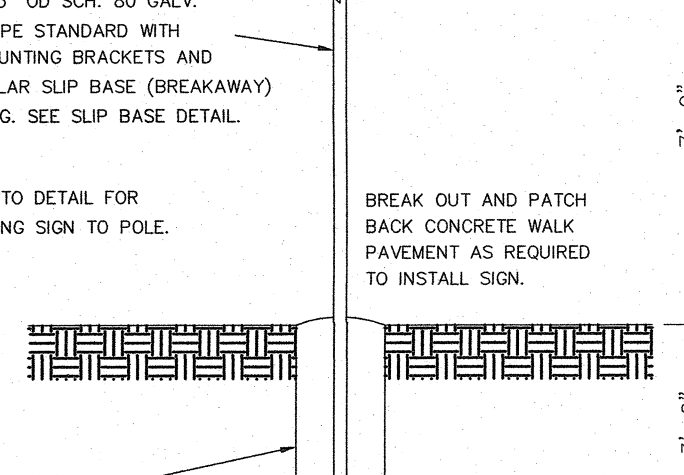
NOT TO SCALE

## TEMPORARY FENCE DETAIL



NOT TO SCALE

## TRAFFIC DIRECTIONAL SIGN



3/28/2017 - PHASE 1 SIDEWALK LIMITS CLARIFIED

3/28/2017 - TEMPORARY WOOD FENCE DETAIL ADDED.

3/31/2017 - ADDED HANDICAP RAMP AT INTERSECTION OF HAMPSTEAD LANE AND LOUIS J. RODRIGUEZ DRIVE

## LEGEND

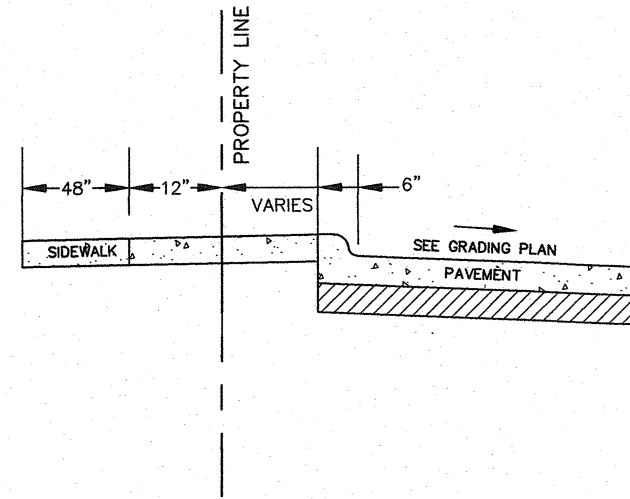
PP	SIGN	6"SS	EXISTING 6" SANITARY SEWER LINE
WM	POWER POLE	6"W	EXISTING 6" WATER LINE
WM	WATER METER		GUY WIRE
WM	GAS METER	X 988.00	EXISTING SPOT ELEVATION
E	EXISTING ELECTRIC LINE	00.00	NEW SPOT ELEVATION
X	EXISTING FENCE		HANDICAPPED PARKING SYMBOL
G	EXISTING 4" GAS LINE		EXISTING CONCRETE
---	EXISTING INDEX CONTOUR		PROPOSED CONCRETE
---	EXISTING INTERMEDIATE CONTOUR		PROPERTY CORNER (AS NOTED)

## CAUTION!!! - UNDERGROUND UTILITIES!!!

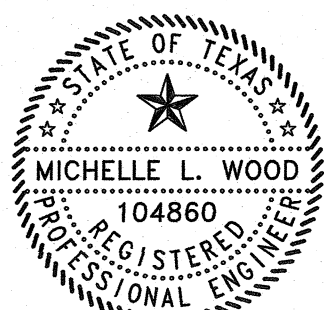
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## SIDEWALK-PAVEMENT DETAIL SECTION D-D



NOT TO SCALE



MICHELLE L. WOOD  
REGISTERED PROFESSIONAL ENGINEER NO. 104860

## PHASE 1: GRADING & PAVING PLAN MIDWESTERN STATE UNIVERSITY PARKING LOT ADDITION PROJECT HAMPSTEAD LANE

DRAWN	MWC
CHECKED	SLW
APPROVED	SLW
PHONE (940)723-1455	
FAX (940)397-0549	

CORLETT, PROBST & BOYD, P.L.L.C.

ENGINEERS - SURVEYORS  
4605 OLD JACKSBORO HIGHWAY  
WICHITA FALLS, TEXAS 76302

SCALE: 1" = 20'

MARCH, 2017

SHEET 3 OF 7























