

March 31, 2017

TO WHOM IT MAY CONCERN

Reference: RFP #735-17-8178 Hampstead Parking Lot Construction

This letter serves as addendum one (1) to the above referenced RFP.

- 1. Sheet 3 includes a Fencing Detail for a single sided fence to be installed along the northern portion of the new parking lot. The existing double sided fence installed on the east side of 2525 Hampstead (see attached photos) will be removed by Owner and sections stacked for re-use as this northern fence material. The 2525 Hampstead fence is ~164' long with the northern portion (~40'?) too short for reuse. The fence is double sided so there should be sufficient length to reinstall along the northern ~204' length of the new parking lot. The contractor shall provide all other material including posts, concrete, and fasteners to re-use the 2525 fence sections. Contractor shall re-stain using the material listed in the Fencing Detail of sheet 3, adhering to the manufacturer's recommendations for surface preparation. Provide a deductive alternate to re-use the 2525 Hampstead fencing for the northern fencing on this project.
- 2. Fencing on the east and west sides of the new parking lot is shown on sheet 3 and is defined as "Temporary Fencing". See attached updated Sheet 3 for detail of the temporary fence (was not shown on the original version).
- 3. The original sheet 2 included a note about the future sidewalk on the south side of the new parking lot. Sheet 3 references the sidewalk as part of the project. The note on sheet 2 has been corrected (attached); the sidewalk on the south side of the new parking lot IS part of the Phase 1 scope of work.

If you have any questions please contact me.

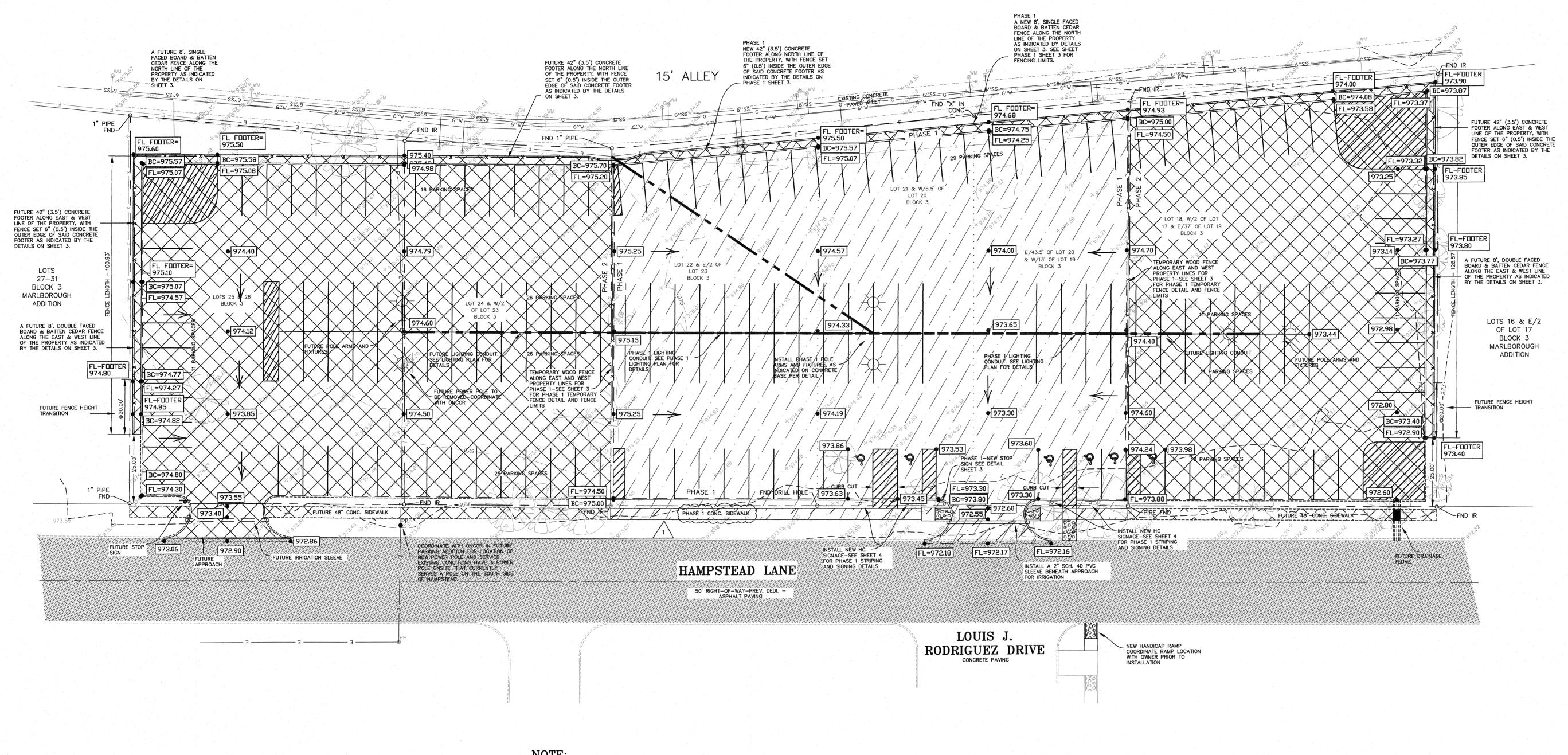
Thank You.

Steve Shelley

Director of Purchasing & Contract Management

940-397-4110

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LEGEND

•	SIGN	6"\$\$	EXISTING 6" SANITARY SEWER LINE
PP	POWER POLE	6''W	EXISTING 6" WATER LINE
wM ⊗	WATER METER		GUY WIRE
GM ©	GAS METER	998.00 ×	EXISTING SPOT ELEVATION
 E	EXISTING ELECTRIC LINE	00.00	NEW SPOT ELEVATION HANDICAPPED PARKING SYMBOL
 X	EXISTING FENCE EXISTING 4" GAS LINE	5	EXISTING CONCRETE
 — — — — — — — — — — — — — — — — — — —	EXISTING INDEX CONTOUR	FND IR	PROPERTY CORNER (AS NOTED)

EXISTING INTERMEDIATE CONTOUR

NOTE:

THIS OVERALL CONCEPT PLAN HAS BEEN SHOWN FOR THE INTENT OF THE BUILD-OUT OF ALL SIX LOTS OWNED BY MWSU ON THE NORTH SIDE OF HAMPSTEAD LANE. MWSU INTENDS TO TO DEVELOP THE ENTIRE SIX LOTS AND CONSTRUCT A NEW PARKING LOT TO SERVE THE CAMPUS. THIS PROJECT WILL BE BUILT IN TWO SEPARATE PHASES. THESE PLANS ARE FOR THE CONSTRUCTION OF PHASE 1 ONLY (LOTS 22 THRU THE WEST 13' OF LOT 19, BLOCK 3, MARLBOROUGH ADDITION). THIS OVERALL CONCEPT PLAN IS FOR REFERENCE ONLY.

CAUTION!!! - UNDERGROUND UTILITIES!!!

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED APPROXIMATELY BY SIGHT OR FROM INFORMATION SUPPLIED BY THE VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER AND OWNER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION; TO TAKE NECESSARY PRECAUTIONS TO PROTECT ALL FACILITIES ENCOUNTERED; AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS WITH THE PROPOSED WORK. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXIST. UTILITIES AND FACILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER SOLE EXPENSE. FACILITIES OWNED BY THE ENTITIES LISTED BELOW ARE KNOWN TO BE LOCATED ON OR IN CLOSE PROXIMITY TO THE WORK AREA OF THIS PROJECT. ADDITIONAL FACILITIES OWNED BY OTHERS MAY ALSO BE AFFECTED. CONTACT ALL POSSIBLE UTILITY AND UNDERGROUND FACILITY OWNERS.

> (940) 761-4333 CITY OF WICHITA FALLS UTILITY OPERATIONS (940) 766-7217 AT&T (940) 720-7709 TEXAS DEPARTMENT OF TRANSPORTATION (940) 766-5460 ONCOR ELECTRIC DELIVERY (800) 344-8377 UNDERGROUND FACILITIES LOCATOR SERVICE (940) 696-7602 ATMOS ENERGY

HATCH LEGEND

PHASE 1-AREA TO BE CONSTRUCTED AS []]]] PART OF THIS PROJECT

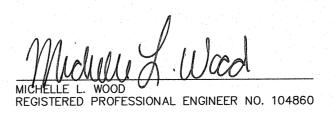
PHASE 2-AREA TO BE CONSTRUCTED IN FUTURE AND SHOWN FOR REFERENCE ONLY ON THIS SHEET

3/31/2017 - PHASE 1 SIDEWALK LIMITS CLARIFIED

3/31/2017 - "FUTURE 48" CONC. SIDEWALK" TEXT CHANGED TO "PHASE 1 CONC. SIDEWALK"

3/31/2017 - ADDED HANDICAP RAMP AT INTERSECTION OF HAMPSTEAD LAND AND LOUIS J. RODRIGUEZ DRIVE

X MICHELLE L. WOOD 104860

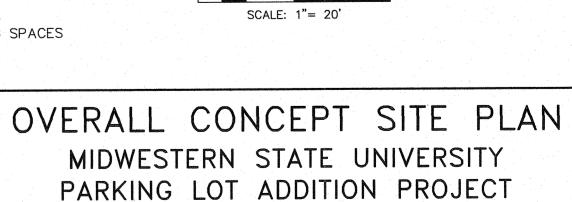


PARKING TOTALS:

PHASE 1 = 59 TOTAL PARKING SPACES 4 HANDICAP PARKING SPACES PHASE 2 = 119 TOTAL PARKING SPACES 2 HANDICAP PARKING SPACES

OVERALL TOTAL (PHASE 1 & PASE 2) =

178 PARKING SPACES 6 HANDICAP PARKING SPACES



HAMPSTEAD LANE CORLETT, PROBST & BOYD, P.L.L.C. CHECKED ENGINEERS - SURVEYORS APPROVED

4605 OLD JACKSBORO HIGHWAY HONE (940)723-1455 WICHITA FALLS, TEXAS 76302 FAX (940)397-0549 SCALE: 1" = 20' SHEET 2 OF 7 MARCH, 2017

GENERAL NOTES FOR PAVING SINGLE FACED 1. THIS PARKING LOT WILL BE CONSTRUCTED IN TWO SEPARATE PHASES. THIS PROJECT IS FOR THE CONSTRUCTION OF PHASE 1 ONLY. PHASE 2 WILL BE CONSTRUCTED IN THE FUTURE AS A SEPARATE PROJECT. 2. DEMOLITION ITEMS FOR PHASE 1 ARE BEING DEMOLISHED BY A SEPARATE CONTRACT. EXISTING BUILDINGS, PAVEMENT, TREES, SHRUBS AND A NEW 8', SINGLE FACED BOARD NORTH LINE OF THE PROPERTY AS INDICATED BY THE DETAILS ON THIS SHEET. APPURTENANCES ARE BEING DEMOLISHED UNDER THIS SEPARATE CONTRACT. ANY REMAINING VEGETATIVE AND DELETERIOUS MATTER SHALL INSTALL 42" (3.5') CONCRETE FOOTER ALONG NORTH LINE OF THE PROPERTY BE STRIPPED AND HAULED OFF-SITE TO AN OFF-SITE LOCATION BY THE CONTRACTOR. WITH FENCE SET 6" (0.5') INSIDE THE 3. THE CONTRACTOR SHALL PLACE TEMPORARY FENCING AND REASONABLE AND NECESSARY TRAFFIC CONTROL AND PROTECTIVE DEVICES AS INDICATED BY THE DETAILS ON THIS AROUND THE CONSTRUCTION SITE. THE TRAFFIC CONTROL AND PROTECTIVE DEVICES SHALL DISCOURAGE VEHICULAR AND PEDESTRIAN TRAFFIC FROM ENTERING OR CROSSING THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE TEMPORARY FENCE AND BEGIN NEW 8' SINGLE FACED BOARD & BATTEN CEDAR FENCE. TIE—IN TRAFFIC CONTROL DEVICES USED AS WELL AS REMOVING THEM FROM SITE ONCE THEY ARE NO LONGER NEEDED. FL FOOTER= F FL FOOTER= CONC 974.68 974.93 4. THE CONTRACTOR SHALL TAKE PRECAUTIONS AS TO NOT TRACK DEBRIS, DIRT AND MUD FROM THE SITE ONTO THE ADJACENT STREETS. BC=975.00 ALLEY AND AREAS NOT WITHIN THE CONSTRUCTION SITE. ALL ADJACENT STREETS, ALLEYS AND AREAS SHALL BE SWEPT AND/OR CLEANED L FOOTER FL=974.50 AS NEEDED OR AS DIRECTED BY THE OWNER. FND 1" PIPE--x● 975.50 FL=974.25 5. A CITY OF WICHITA FALLS APPROACH PERMIT IS REQUIRED FOR THE APPROACH AND THE SIDEWALK ALONG THE NORTH SIDE OF FL=975.07 HAMPSTEAD LANE. THE APPROACH AND SIDEWALK SHALL BE INSTALLED PER CITY OF WICHITA FALLS STANDARDS AND WILL BE SUBJECT TO SCALE: 1"= 20 CITY INSPECTION AND APPROVAL. ALL WORK WITHIN CITY RIGHT-OF-WAY SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRCTION-NORTH CENTRAL TEXAS", LATEST EDITION, AS PUBLISHED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS THE CITY PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED AT LEAST TWO (2) BUSINESS DAYS PRIOR TO WORK WITHIN THE CITY 21 & W/6.5' O RIGHT-OF-WAY. ANY TRAFFIC SAFETY MEASURES USED WITHIN THE STREET RIGHT-OF-WAY TO PROTECT THE PUBLIC SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". BLOCK 3 LOT 18, W/2 OF LOT 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL FROM THE SITE. THE CONTRACTOR SHALL REMOVE, TRIANGULAR SLIPBASE INSTALLATION GENERAL REQUIREMENTS LOAD, HAUL AND DISPOSE OF EXCESS MATERIAL OF AT AN OFF-SITE LOCATION. ONCE THE SITE HAS BEEN SUFFICIENTLY GRADED TO THE 17 & E/37' OF LOT 19 REQUIRED SUBGRADE DEPTH, THE SITE SHALL BE PROOF ROLLED WITH A LOADED DUMP TRUCK OR SIMILAR EQUIPMENT. ANY SOFT AREAS BLOCK 3 SHALL BE REMOVED, REWORKED AND RECOMPACTED TO ACHIEVE A MINIMUM OF 95% STANDARD PROCTOR DENSITY (ASTM D-698) AT ● 974.57 1%-3% ABOVE OPTIMUM MOISTURE. 974.00 $\sim\sim\sim$ E/43.5' OF LOT 20 There are various devices approved for the Triangular Slipbase System. Please reference the Moterial Producer List for approved slip base systems. http://www.txdot.gov/business/producer_list.l The devices shall be installed per TEMPORARY WOOD FENCE TO TEMPORARY WOOD FENCE TO BE REMOVED IN BE REMOVED IN FUTURE FOR BLOCK 3 7. ALL CONRETE STRENGTH SHALL BE A MINIMUM OF 3000 PSI AT 28 DAYS AND SHALL CONTAIN A MINIMUM OF 4% ENTRAINED AIR. THE LOT 23 FUTURE FOR PARKING ADDITIONS TO THE WEST-EAST-(APPROX, 109 LF OF BLOCK 3 CONTRACTOR SHALL TAKE CARE SO THAT THE MAXIMUM SLUMP DURING A POUR DOES NOT EXCEED 5-INCHES. ANY EXCESSIVELY WET TEMPORARY WOOD FENCE CONCRETE LOADS WILL BE REJECTED. THE CONTRACTOR SHALL OBTAIN TWO SETS OF FOUR CYLINDERS FROM SEPARATE READY MIX TRUCKS (APPROX. 87' LF OF FOR EACH MAJOR POUR. THESE CYLINDERS SHALL BE KEPT AT FIELD CONDITIONS AND SHALL BE BROKEN BY AN INDEPENDENT TESTING TEMPORARY WOOD FENCE) LAB AT 7, 14 AND 28 DAYS AT THE OWNER'S EXSPENSE. THE RESULTS SHALL BE PROVIDED TO BOTH THE ENGINEER AND MWSU. TESTS NEW LIGHTING CONDUIT. SEE LIGHTING PLAN FOR DETAILS MAY CEASE ON ANY SET OF CYLINDERS WHEN DESIGN STRENGTH HAS BEEN ACHIEVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OF LOT 23 REMOVING AND REPLACING ANY CONCRETE NOT MEETING THE REQUIRED MINIMUM DESIGNED STRENGTH AT NO EXPENSE TO THE OWNER. 973.65 8. CONCRETE SHALL BE PROTECETED FROM FREEZING FOR A MINIMUM OF 36 HOURS FOLLOWING ITS INITIAL SET AND SHALL NOT BE PLACED 975.15 UNLESS THE TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT. ANY TRAFFIC SHALL BE KEPT OFF OF THE PAVEMENT FOR A MINIMUM OF 7 DAYS OR UNTIL APPROVED FOR TRAFFIC BY MWSU. CONFIRM STARTING POINT 10 PARKING SPACES 3/4 " diameter hole. -Provide a 7" x 1/2" diameter rad or 44 rebor. OF FENCE WITH MWSU PRIOR TO CONSTRUCTION. DISTANCE NEW LIGHTING CONDUIT. SEE LIGHTING PLAN FOR DETAILS SHOWN IS APPROXIMATE FROM PROPERTY LINE AND Closs A concrete -9. ANY CONCRETE TRUCKS SHALL NOT BE WASHED OUT ON MWSU PROPERTY. INSTALL NEW POLE ARMS AND FIXTURES AS INDICATED ON CONCRETE FENCING DETAIL TO BE APPROX. EVEN WITH CONFIRM STARTING POINT NOT TO SCALE OF FENCE WITH MWSU PRIOR TO CONSTRUCTION. DISTANCE 10. REINFORCING SHALL BE GRADE 60 AND INSTALLED IN ACCORDANCE WITH ACI 330 LATEST EDITING AND SHALL BE FREE OF EXCESSIVE RUST, SCALE AND MUD. REINFORCING MATS SHALL BE SUPPORTED ON PLASTIC CHAIRS, NOT ON RODS DRIVING INTO THE GROUND. THE SHOWN IS APPROXIMATE FROM PROPERTY LINE AND 1. FENCE SHALL BE EITHER SINGLE FACED BOARD OR DOUBLE FACED BOARD. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CARE DURING CONCRETE PLACEMENT TO INSURE THAT ANY REINFORCING MAINTAINS SEE PLAN VIEW. 975.25 974.60 TO BE APPROX. EVEN WITH 974.19 ITS PROPER POSITION IN THE PAVEMENT. CONCRETE TRUCKS SHALL NOT BE DRIVEN ACROSS REINFORCING MATS. ----- 12" Dia ------2. FENCE SHALL BE A CAPPED, BOARD & BATTEN CEDAR FENCE FACED ON NORTH SIDE. THE HEIGHT SHALL BE 8'. 11. PAVEMENT SURFACES SHALL HAVE A LIGHT BROOM FINISH. 973.53 973.60 973.86 3. THERE SHALL BE AT LEAST THREE HORIZONTAL RAILS SUPPORTING THE TYPICAL SIGN ATTACHMENT DETAIL 974.24 973.98 12. CONTRACTION JOINTS IN THE SIDEWALK SHALL BE TOOLED IN AS INDICATED ON THE DETAILS. CONTRACTION JOINTS IN THE PARKING LOT FENCE. THESE SHALL BE 2" X 4" CEDAR. ALL FACING MATERIALS SHALL BE Single Signs PAVING SHALL BE SAW CUT TO A DEPTH OF 3/4" WITHIN 24-HOURS AFTER THE CONCRETE HAS OBTAINED ITS INITIAL SET AT 15' ON 1" X 8" X 8' #1 GRADE CEDAR. ALL NAILS USED SHALL BE GALVANIZED CENTER EACH WAY. AFTER THE CONCRETE HAS SET FOR A MINIMUM OF 14 DAYS, ALL JOINTS SHALL BE BLOWN CLEAN WITH COMPRESSED INSTALL HC SIGN AIR AND SHALL BE SEALED WITH A 1/2 INCH BEAD OF SONOLASTIC SL1, OR OTHER APPROVED SEALANT, TO WITHIN 1/4 INCH OF THE 4. SUPPORTING POSTS SHALL BE 3" O.D. SCHEDULE 40 GALVANIZED POSTS ON PER DETAILS (TYP.) FINISHED PAVEMENT SURFACE. 973.63 V NO MORE THAN 8' CENTERS EMBEDDED A MINIMUM OF 24" INTO A 12" DIAMETER FL=974.50 FL=973.30 3000 PSI CONCRETE FOOTING. 1973.30 973.45 BC=973.80 13. EXPANSION JOINTS SHALL BE INSTALLED PER DETAILS AGAINST ANY EXISTING CONCRETE AND SHALL BE PLACED AT A MINIMUM OF 90' 5. CURBING BENEATH THE FENCE AND EXTENDING EAST TO THE BACK OF THE AND MAXIMUM OF 120' INTERVALS IN THE PARKING AREAS. EXPANSION JOINT MATERIAL SHALL BE SCORED OR SHALL HAVE A REMOVABLE PARKING LOT CURB SHALL BE 4" MINIMUM THICKNESS 3000 PSI CONCRETE WITH PLASTIC CAP SO THAT THE UPPER 1/2 INCH CAN BE REMOVED TO ALLOW A SEALANT POCKET. EXPANSION JOINTS SHALL BE SEALED IN #3 GRADE 40 REBAR AT 18" O.C.E.W. PROVIDE A LIGHT BROOM FINISH. THE INSTALL NEW-THE SAME MANNER AS MENTIONED ABOVE FOR CONTRACTION JOINTS. EXPANSION JOINTS SHALL BE LINED UP IN PARKING LOTS, CURB AND PAVING WIDTH AS INDICATED ON PLANS. GUTTER AND SIDEWALK. 6. AFTER THE FENCE IS FULLY ASSEMBLED IT SHALL BE SEALED WITH CABOT CONSTRUCT NEW 4' CONCRETE SIDEWALK. END AT PROPERTY LINE. FL=972.16 FL=972.18 FL=972.17 CONCRETE SIDEWALK 3005 PACIFIC REDWOOD STAIN APPLIED FULL STRENGTH TO ALL EXPOSED SIDES END AT PROPERTY LINE. SIDEWALK TO BE EXTENDED FOR FUTURE 14. CONSTRUCTION JOINTS SHALL BE DOWELED TOGETHER PER THE DETAILS. THE DOWELS MAY BE ELIMINATED IF THE STEEL IS LAID SIDEWALK TO BE EXTENDED FOR FUTURE OF THE FENCE. (KELLY-MOORE OR LOWE'S) CONTINUOUSLY ACROSS THE JOINT INSTALL A 2" SCH 40 PVC HAMPSTEAD LANE Sign clamps may be either the specific size clam or the universal clamp. SLEEVE BENEATH APPROACH NEW APPROACH 15. AFTER REMOVAL OF THE FORMS FOR CURBING, ALL VOIDS SHALL BE RUBBER FLOATED FULL WITH RICH CEMENT GROUT CONTAINING 50' RIGHT-OF-WAY-PREV. DEDI. BONDING AGENT. ASPHALT PAVING 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGHLY PICKING UP AND RAKING THE SITE AND ALL DEBRIS REMOVED. LOUIS J. 17. THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR SAFETY ON THIS PROJECT. THE CONTRACTOR SHALL PROVIDE ALL SIGN NECESSARY AND PRUDENT BARRICADES, SIGNS, FENCING, WARNING LIGHTS, TRENCH SAFETY MEASURES AND DEVICES, WORK METHODS AND RODRIGUEZ DRIVE R1 - 1ALL OTHER SAFETY MEASURES NECESSARY TO PROTECT THE MWSU STUDENTS, FACULTY, STAFF, GENERAL PUBLIC AND CONTRACTOR NEW HANDICAP RAMP COORDINATE RAMP LOCATION WITH OWNER PRIOR TO INSTALLATION EMPLOYEES. TRAFFIC SAFETY MEASURES SHALL BE USED WITHIN THE STREET RIGHT-OF-WAY TO PROTECT THE TRAVELING PUBLIC AND 30" X 30" SHALL CONFORM TO THE REQUIREMENTS MEETING THE "MANUAL ON UNIFORM TRAFFIC CONTROL". EXISTING CONC STRIPING NOTES 2.875" OD 10 BWG GALV. TUBING OR 2.875" OD SCH. 80 GALV. -5" CONCRETE PAVEMENT STEEL PIPE STANDARD WITH TEMPORARY WOOD 1. THE CONTRACTOR SHALL PROVIDE PARKING LOT STRIPING FOR PHASE 1 ONLY AND SHALL REINFORCED WITH #4 BARS @ 16" O.C.E.W. (3,000 SIGN MOUNTING BRACKETS AND TEMPORARY WOOD REFER TO THE PHASE 1 STRIPING AS SHOWN IN PLAN VIEW. PSI CONCRETE (MIN.) @ 28 DAYS, 4% AIR) TRIANGULAR SLIP BASE (BREAKAWAY) SINGLE FACED BOARD FENCE MOUNTING. SEE SLIP BASE DETAIL. SEE FENCE DETAIL 2. THE CONCRETE SURFACE SHALL TO BE STRIPED SHALL BE BROOMED CLEAN AND/OR POWER 1" X 6' CEDAR WASHED TO REMOVE DEBRIS, DIRT AND MUD PRIOR TO PAINTING. 3 - 2 X 4 CEDAR REFER TO DETAIL FOR BREAK OUT AND PATCH TIE-IN TO EXISTING WITH GALVANIZED BACK CONCRETE WALK TIE-IN TO EXISTING MOUNTING SIGN TO POLE. TIE-IN TO EXISTING GROUND. MAX 4:1 3. THE SURFACES TO BE PAINTED SHALL BE THOROUGHLY DRY AND THE JOINT SEALANT SHALL STEEL BRACKETS GROUND. MAX 4: PAVEMENT AS REQUIRED 2,0 GROUND. MAX 4:1 BE FULLY CURED AND PAINTABLE. PPG OR SHERWIN-WILLIAMS TRAFFIC MARKING PAINT SHALL TO INSTALL SIGN. BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. FXISITNG ALLEY GALVANIZED STEEL 4. PARKING SPACE STRIPING SHALL BE 4 INCHES WIDE AND SHALL BE TRAFFIC SAFETY YELLOW. CONCRETE FOOTING SEE GRADING PLAN -PROOF ROLL SUBGRADE, PROCESS HANDICAP SPACES, INCLUDING STRIPING, CURB FACE AND SYMBOLS, SHALL BE SAFETY BLUE. & COMPACT TO 95% ASTM D-698 12" X 36" CONCRETE FOOTER AS REQUIRED SET AT EACH POST (VARIES - 6' 6" 5. THE CONCRETE BASE SHOWN IN LOT LIGHTING DETAILS IN PHASE 1 LIGHTING PLAN SHALL BE TO 8' ON CENTER TYPICAL -PAINTED TRAFFIC SAFETY YELLOW. MAX POST SPACING 8' - 0") 3000 PSI CONCRETE POURED TO 42" TEMPORARY FENCE BELOW FINISH GRADE 6. ALL PAINTED AREAS SHALL BE PROTECTED FROM TRAFFIC UNTIL THOROUGHLY DRY AND CONCRETE PAVING SECTION EAST FENCE DETAIL NORTH FENCE DETAIL WEST FENCE DETAIL ACCEPTED BY MWSU **DETAIL** SECTION C-C SECTION B-B NOT TO SCALE SECTION A-A TRAFFIC DIRECTIONAL NOT TO SCALE <u>SIGN</u> NOT TO SCALE NOT TO SCALE 1. AFTER THE FENCE IS FULLY ASSEMBLED IT NOT TO SCALE SHALL BE SEALED WITH CABOT 3005 PACIFIC REDWOOD STAIN APPLIED FULL STRENGTH TO ALL EXPOSED SIDES OF THE FENCE. (KELLY-MOORE 3/28/2017 - PHASE 1 SIDEWALK LIMITS CLARIFIED LEGEND 3/28/2017 - TEMPORARY WOOD FENCE DETAIL ADDED. TEMPORARY WOOD FENCE CAUTION!!! - UNDERGROUND UTILITIES!!! APPROXIMATE LENGTH ADDED SIGN EXISTING 6" SANITARY SEWER LINE POWER POLE EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED 3/31/2017 - ADDED HANDICAP RAMP AT INTERSECTION OF EXISTING 6" WATER LINE HAMPSTEAD LAND AND LOUIS J. RODRIGUEZ DRIVE APPROXIMATELY BY SIGHT OR FROM INFORMATION SUPPLIED BY THE VARIOUS OWNERS OF THE FACILITIES. THE WATER METER ENGINEER AND OWNER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF PHASE 1: GRADING & PAVING PLAN 998.00 EXISTING SPOT ELEVATION GAS METER ALL UTILITIES PRIOR TO CONSTRUCTION; TO TAKE NECESSARY PRECAUTIONS TO PROTECT ALL FACILITIES 00.00 NEW SPOT ELEVATION ENCOUNTERED: AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS WITH THE PROPOSED WORK. THE EXISTING ELECTRIC LINE MIDWESTERN STATE UNIVERSITY CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXIST. UTILITIES AND FACILITIES FROM DAMAGE DURING HANDICAPPED PARKING SYMBOL EXISTING FENCE CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE SIDEWALK-PAVEMENT PARKING LOT ADDITION PROJECT EXISTING CONCRETE De CONTRACTOR AT HIS/HER SOLE EXPENSE. FACILITIES OWNED BY THE ENTITIES LISTED BELOW ARE KNOWN TO BE EXISTING 4" GAS LINE 11/1/1 LOCATED ON OR IN CLOSE PROXIMITY TO THE WORK AREA OF THIS PROJECT. ADDITIONAL FACILITIES OWNED BY PROPOSED CONCRETE HAMPSTEAD LANE DETAIL EXISTING INDEX CONTOUR -----OTHERS MAY ALSO BE AFFECTED. CONTACT ALL POSSIBLE UTILITY AND UNDERGROUND FACILITY OWNERS. PROPERTY CORNER (AS NOTED) FND IR EXISTING INTERMEDIATE CONTOUR SECTION D-D CITY OF WICHITA FALLS UTILITY OPERATIONS (940) 761-4333 CORLETT, PROBST & BOYD, P.L.L.C. (940) 766-7217 AT&T NOT TO SCALE MICHELLE L. WOOD CHECKED TEXAS DEPARTMENT OF TRANSPORTATION (940) 720-7709 ENGINEERS - SURVEYORS 104860 (940) 766-5460 ONCOR ELECTRIC DELIVERY APPROVED SLW 4605 OLD JACKSBORO HIGHWAY HONE (940)723-1455 UNDERGROUND FACILITIES LOCATOR SERVICE (800) 344-8377 WICHITA FALLS, TEXAS 76302 FAX (940)397-0549 ATMOS ENERGY (940) 696-7602 REGISTERED PROFESSIONAL ENGINEER NO. 104860 SCALE: 1" = 20'3 OF 7 MARCH, 2017 SHEET











